



**Planning Commission  
Regular Meeting  
June 20, 2017  
7:00p.m.**

1. CALL MEETING TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. APPROVAL OF MINUTES

- 4-25-2017 Special Planning Commission Meeting
- 3-28-2017 Special Planning Commission Meeting

5. CORRESPONDENCE / BOARD REPORTS

- Boards and Commissions Expiration Dates
- City Planner Comments
- Kuhn Rogers PLC Comments

6. APPROVAL OF AGENDA

7. PUBLIC COMMENT: Restricted to (3) minutes regarding issues not on this agenda

8. PUBLIC HEARINGS

- SUP 2017-03 Retail sales of new or used cars, trucks, boats, farm equipment, mobile homes, travel trailers, and motor homes 2420 E. Broomfield Rd. Owner: McGurik Mini Storage
- SUP 2017-04 Multi Use Structures 1982 E. Remus Rd. Owner: Mt Pleasant Investment Properties LLC (Authorized by current owner Greenspace Inc.
- SUP 2017-05 Self storage buildings 1982 E. Remus Rd. Owner: Mt Pleasant Investment Properties LLC (Authorized by current owner Greenspace Inc
- SUP 2017-06 Public and Institutional Use S. Lincoln Rd. Owner: Mt Pleasant Investment Properties LLC (Authorized by current owner Figg, Richard & Betty
- REZ 2017-04 I-2 General Industrial to R-1 Rural Residential 6.08 acres Coyne LLC N. Harris(Crawford Rd.) PID 14-010-30-003-03 Owner Coyne LLC

9. NEW BUSINESS

- A. SUP 2017-03 Retail sales of new or used cars, trucks, boats, farm equipment, mobile homes, travel trailers, and motor homes 2420 E. Broomfield Rd Owner: McGuirk Mini Storage *Action: Recommendation to Township Board of Trustees **(15Min)***
  
- B. SUP 2017-04 Multi Use Structures 1982 E. Remus Rd. Owner: Mt Pleasant Investment Properties LLC (Authorized by current owner Greenspace Inc. *Action: Recommendation to Township Board of Trustees **(15 Min)***
  
- C. SUP 2017-05 Self storage buildings 1982 E. Remus Rd. Owner: Mt Pleasant Investment Properties LLC (Authorized by current owner Greenspace Inc. *Action: Recommendation to Township Board of Trustees **(15 Min)***
  
- D. SUP 2017-06 Public and Institutional Use S. Lincoln Rd. Owner: Mt Pleasant Investment Properties LLC (Authorized by current owner Figg, Richard & Betty. *Action: Recommendation to Township Board of Trustees **(15 Min)***
  
- E. SPR 2017-04 Self storage buildings & Office building 1982 E. Remus Rd. Owner Mt Pleasant Investment Properties LLC (Authorized by current owner Greenspace Inc. *Action: Recommendation to Township Board of Trustees **(15 Min)***
  
- F. REZ 2017-04 I-2 General Industrial to R-1 Rural Residential 6.08 acres Coyne LLC N. Harris(Crawford Rd.) PID 14-010-30-003-03 Owner Coyne LLC. *Action: Recommendation to Township Board of Trustees **(15 Min)***
  
- G. Preliminary site plan review Cold Storage N. Harris(Crawford Rd.) PID 14-010-30-003-03 Coyne LLC Owner Coyne LLC *Action: Recommendation for Final Site Plan Review **(15 Min)***
  
- H. Preliminary site plan review Assisted Senior living/independent senior living S. Lincoln Rd. MT PLEASANT, MI 48858 PID 14-020-20-001-03. Owner: Mt Pleasant Investment Properties LLC (Authorized by current owner Figg, Richard & Betty. *Action: Recommendation for Final Site Plan Review **(15 Min)***

10. OTHER BUSINESS

11. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

12. FINAL BOARD COMMENT

13. ADJOURNMENT

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Special Meeting**

A special meeting of the Charter Township of Union Planning Commission held on April 25, 2017 at the Township Hall.

**Meeting was called to order at 7:05 p.m.**

**Roll Call**

**Present:** Buckley, Fuller, Mielke, Robinette, Squattrito, Strachan, Webster, Woerle, and Zerbe

**Approval of Minutes**

**Webster** moved **Buckley** supported to approve the April 18, 2017 meeting minutes with corrections. **Vote: Ayes: 9 Nays 0. Motion carried.**

Meeting minutes from the March 28, 2017 were postponed until the next scheduled meeting.

**Correspondence / Reports**

No correspondence or reports.

**Approval of Agenda**

**Robinette** moved **Mielke** supported approval of the agenda as presented. **Vote: Ayes: 9 Nays 0. Motion carried.**

**Public Comment** – Open 7:15 p.m.

No comments.

**Public Hearing**

- **TXT Amendment 2017-01 Outdoor Lighting Charter Township of Union Zoning Ordinance 1991-5 as amended: Recommend Approval to the Board of Trustees**

Township Planner, Gallinat, presented the Text Amendment to the Planning Commissioners.

Public Hearing open at 7:17 p.m.

No comments were offered.

No correspondence was received.

Public Hearing closed at 7:17 p.m.

**Webster** moved **Woerle** supported to recommend approval of TXT Amendment 2017-01 Outdoor Lighting Charter Township of Union Zoning Ordinance 1991-5, striking the following words from C: “the structure is located” to the Board of Trustees. **Vote: Ayes: 9 Nays: 0.**

**Motion carried.**

**New Business**

- A. **Future Land Use (FLU) Map Discussion and Recommendation to LSL: Recommend a draft FLU Map to LSL**

Township Planner, Gallinat, provided current and proposed Future Land Use Maps to the Commissioners. The committee: Mielke, Fuller, Woerle, and Squattrito met on April 11, 2017

and brought a list of 15 recommendations for the Commissioners to discuss. Discussion was held by the Commissioners.

**Other Business**

**Extended Public Comment** –open 9:15 p.m.  
No comments.

**Adjournment** – Chairman Squattrito adjourned the meeting at 9:15 p.m.

**APPROVED BY:**

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**Alex Fuller - Secretary**

*(Recorded by Jennifer Loveberry)*

DRAFT

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Special Meeting**

A special meeting of the Charter Township Planning Commission was held on March 28, 2017 at 7:00 p.m. at Union Township Hall.

**Meeting was called to order at 7:00 p.m.**

**Roll Call**

Buckley, Fuller, Mielke, Robinette, Squatrito, Strachan, Webster, Woerle, & Zerbe

**Others Present**

Twp Planner Peter Gallinat, Josh Penn LSL, Kathleen Duffy LSL

**Approval of Agenda**

**Robinette** moved **Mielke** supported to approve the agenda as presented. **Ayes: all. Motion carried.**

**Others Present**

**Open at 7:04**

Richard Figg 1239 E. Broomfield Rd. commented on Remus and Lincoln Rd.

**Closed at 7:05pm**

**New Business**

**A. Discuss The Union Township Master Plan Action Plan with LSL Planning**

Kathleen Duffy and Josh Penn presented ideas and goals for the Master Plan. The Planning Commission discussed goals for the Township Master Plan.

**EXTENDED PUBLIC COMMENT**

**Open at 9:02pm**

Ben Gunning 2270 E. Broomfield Rd. commented on the meeting process zoning of other Townships.

Marty Figg 810 Ashland Dr. commented on travel paths in the Township

**Closed at 9:12pm**

**FINAL BOARD MEMBER COMMENTS**

**Mielke** commented on septic system information for the community.

**Squatrito** reminded board to watch their email for polling special meetings.

**ADJOURNMENT**

**Chair** adjourned the meeting at 9:13p.m.

**APPROVED BY:**

\_\_\_\_\_  
**Alex Fuller, Secretary**

*(Recorded by Peter Gallinat)*

## Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Norm	Woerle	11/20/2020
2-Chair	Phil	Squatrito	2/15/2020
3- Vice Chair	Bryan	Mielke	2/15/2018
4-Secretary	Alex	Fuller	2/15/2020
5-Vice Secretary	John	Zerbe	2/15/2018
6	Ryan	Buckley	2/15/2019
7	Denise	Webster	2/15/2020
8	Erik	Robinette	2/15/2018
9	Dwayne	Strachan	2/15/2018
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Tim	Warner	12/31/2019
2-PC Rep / Vice Chair	Bryan	Mielke	2/18/2018
3-Vice Secretary	Jake	Hunter	12/31/2019
4-Secretary	Mike	Darin	12/31/2019
5	Paul	Gross	12/31/2018
Alt. #1	Andy	Theisen	12/31/2019
Alt. #2	Taylor	Sheahan-Stahl	2/15/2018
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1-Chair	vacant seat		12/31/2018
2	James	Thering	12/31/2018
3	Brian	Neyer	12/31/2018
Alt #1	Mary Beth	Orr	1/25/2019
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Laura	Coffee	12/31/2018
2	Mike	Lyon	12/31/2018
3	Jay	Kahn	12/31/2018
4	Phil	Mikus	11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2017
2	Richard	Klumpp	12/31/2017
3	Andy	Theisen	12/31/2017
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2018
2	John	Dinse	12/31/2017
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2019



## Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1	Thomas	Kequom	4/14/2019
2	James	Zalud	4/14/2019
3	Richard	Barz	2/13/2021
4	Robert	Bacon	1/13/2019
5	Ben	Gunning	11/20/2020
6	Marty	Figg	6/22/2018
7	Sarvjit	Chowdhary	1/20/2018
8	Cheryl	Hunter	6/22/2019
9	Vance	Johnson	2/13/2021
10	Michael	Smith	2/13/2021
11	Mark	Perry	3/26/2018
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Brian	Smith	12/31/2019



R. EDWARD KUHN  
TERRY C. ROGERS  
*(LLM, Taxation)*  
EDGAR ROY III  
JOSEPH E. QUANDT  
GREGORY J. DONAHUE  
GREGORY L. JENKINS  
TROY W. STEWART  
GINA A. BOZZER

412 SOUTH UNION STREET  
TRAVERSE CITY, MICHIGAN 49684  
TELEPHONE: 231-947-7900  
FAX: 231-941-5154

LANSING OFFICE:  
2937 ATRIUM DRIVE, SUITE 200  
OKEMOS, MICHIGAN 48864  
TELEPHONE: 517-347-7720

MATTHEW L. BOYD  
CHRISTOPHER G. ROGERS  
*(also admitted in Illinois)*  
MARC S. McKELLAR II

OF COUNSEL:  
LEWIS G. GATCH  
A. BROOKS DARLING

June 16, 2017

**VIA FAX - 989-773-1988**  
**VIA EMAIL - [pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)**  
**AND FIRST CLASS MAIL**

Peter Gallinat  
Zoning Administrator  
Charter Township of Union  
2010 S. Lincoln Road  
Mt. Pleasant, MI 48858

Re: Mt. Pleasant Investment Properties, LLC/Applications for Special Use and Site Plan Review

Dear Peter:

In my review of the documents submitted for consideration by the planning commission we noted some additional points where clarification may be helpful.

Accordingly, please be advised of the following details:

1. The special use application and site plan application submitted for the senior living facility should include, as a basis for the special use, the public or institutional use basis, in addition to the multi-family dwellings of five (5) or more units basis currently noted in the application.
2. The legal description for the special use application and site plan application submitted for the senior living facility should be clarified as the description attached to this letter as Exhibit A. This description is wholly within the description previously provided in the application and thus no adjustment of the public notice should be necessary.
3. The site plan application submitted for the senior living facility is a request for preliminary site plan review only.



**KUHN ROGERS PLC**

June 16, 2017

Page 2

4. The special use application and site plan application submitted for the self-storage facility, is for final site plan approval, which may be conditioned on my client's purchase of the property.
5. The site plan application for the commercial use by right is for final site plan approval, which may be conditioned on my client's purchase of the property.

Please provide a copy of this letter in the package to the Planning Commission, so that this clarification is part of the administrative record of my client's applications.

Please let me know if you have any questions, comments or concerns related to this clarification.

Sincerely,

KUHN ROGERS PLC



Joseph E. Quandt  
Direct Dial: (231) 947-7901 x115  
jequandt@krlawtc.com

JEQ:shp

# EXHIBIT A

LEGAL DESCRIPTION OF PROPOSED SPECIAL USE R-3A

A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N.-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.00°-55'-47"E., ON AND ALONG THE EAST LINE OF SAID SECTION, 1575.04 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING S.00°-55'-47"E., ON AND ALONG SAID EAST SECTION LINE, 406.35 FEET; THENCE S.89°-30'-03"W., 1333.25'; THENCE N.00°-39'-12"W., ON AND ALONG THE EAST 1/8 LINE OF SAID SECTION, 1286.02 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH THE NORTH LINE OF SAID SECTION, 691.56 FEET; THENCE S.01°-03'-50"E., 881.74 FEET; THENCE N.89°-05'-54"E., 633.42 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 26.41 ACRES OF LAND AND BEING SUBJECT TO HIGHWAY USE OF THE EASTERLY 33.00 FEET THEREOF, LYING ALONG AND ADJACENT TO THE EAST LINE OF SAID SECTION, FOR HIGHWAY USE AND ALSO BEING SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.

**From:** Peter Gallinat  
**Sent:** Monday, June 19, 2017 9:35 AM  
**To:** Jennifer Loveberry  
**Subject:** FW: Coyne Cold Storage Preliminary Site Plan

Please add to correspondence section of packet.

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
[www.uniontownshipmi.com](http://www.uniontownshipmi.com)

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**From:** Kain, Jacob [<mailto:jkain@mt-pleasant.org>]  
**Sent:** Friday, June 16, 2017 4:21 PM  
**To:** Peter Gallinat  
**Subject:** RE: Coyne Cold Storage Preliminary Site Plan

Hi Peter,

Thank you again for sharing the information on this project. I wanted to share a few items for your consideration:

1. Please ensure that no work is done on the portion of the applicant's property that is under City jurisdiction without City approval.
2. We are currently waiting for the applicant to resolve an outstanding issue related to paving on site and an open stormwater permit.
3. As you are likely already aware, the regional trail group is anticipating that a trail will be constructed along the east side of Harris/Crawford in the near future. We would like to ensure that development of that parcel takes into account that trail connection, particularly if the township requires sidewalk construction in conjunction with that development.

Let me know if you have any questions. Have a good weekend!

Jacob

Jacob Kain, AICP  
City Planner  
City of Mt. Pleasant  
320 W. Broadway  
Mt. Pleasant, MI 48858  
(989) 779-5346  
[www.mt-pleasant.org](http://www.mt-pleasant.org)



Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

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TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: A) SUP 2017-03 Retail sales of new or used cars, trucks, boats, farm equipment, mobile homes, travel trailers, and motor homes 2420 E. Broomfield Rd.**

**Applicant:** CMS&D Surveying and Engineering

**Owner:** McGuirk Mini Storage Inc.

**Location:** 2420 E. Broomfield Rd. MT PLEASANT, MI 48858

**Current Zoning:** B-4 General Business District.

**Adjacent Zoning:** B-4 to the north across the road, B-4 to the west, B-4 to the south, and B-4 to the east.

**Future Land Use/Intent:** Commercial: Shopping, office and professional services with mixed neighborhood commercial uses.

**Current Use:** Office/indoor recreation.

**Reason for Request:** Applicant request to sell used cars, trucks, boats, farm equipment, mobile homes, travel trailers, and motor homes.

**History:** Raymond's Camper Sales was located on the property at one point inside the existing red barn building. This is an allowed special use. If the special use was granted by the township the use stays with the property regardless of ownership. No record could be found if the township ever granted the special use or not.

A site plan for the existing uses on the property was approved by the Planning Commission in March of 2016. Applicant has proposed no changes to that site plan and proposes no new structures. Applicant has shown where the vehicles would be placed to be sold. The use of these parking spaces still allows enough parking for the other uses on the property.

A special use for self storage was applied for by the same applicant/owner of the same property in February of 2017. The planning commission recommended not approving a self storage special use. The Board of Trustees voted to not grant the self storage special use on the in May 2017.

**Objective of board:** Within reasonable time following the public hearing, the Planning Commission shall review the application for the special use permit, testimony received at the public hearing, and other materials submitted in relation to the request and make a recommendation to the Township Board. Please refer to section 30.3.A.1-10 before making a recommendation

**Recommend at this time a recommendation of approval to the Township Board of Trustees SUP 2017-03 on the condition that:**

- Only the sale of new or used cars, trucks, boats, farm equipment, mobile homes, travel trailers, and motor homes allowed for sale. No other type of vehicle not mentioned above is permitted for sale.
- The sale of campers had existed before on the property.

**Peter Gallinat**  
Twp Planner

## AFFIDAVIT OF PUBLICATION

48 West Huron Street • Pontiac, MI 48342

**CHARTER TOWNSHIP OF UNION**  
**2010 S Lincoln**

**Mount Pleasant, MI 48858**  
**Attention: PETER GALLINAT**

STATE OF MICHIGAN,  
COUNTY OF ISABELLA

*John Alpert*  
*State Airport*

The undersigned \_\_\_\_\_, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

**UNION TOWNSHIP PUBLIC HEARING NOTICE -SPECIAL USE PERMIT**

NOTICE is hereby given that a Public Hearing will be held on Tuesday, June 20, 2017, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a Special Use Permit, as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by McGuirk Min Storage Inc, a Special Use Permit in a B-4 (General Business District) zone for retail sales of new or used cars, trucks, boats, farm equipment, mobile homes, travel trailers, and motor homes.

Legal Description of property: T14N R4W, SEC 28, W 1/2 OF E 1/2 OF NE 1/4 OF NW 1/4

This property is located at: 2420 E. BROOMFIELD RD MT PLEASANT, MI 48858  
PID 14-028-10-002-01

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday, Phone (989) 772 4600 extension 241.

Peter Gallinat,  
Township Planner

Published June 4, 2017

**CHARTER TOWNSHIP OF UNION**

Published in the following edition(s):

Morning Sun	06/04/17
morningstarpublishing.com	06/04/17



Sworn to the subscribed before me this 5<sup>th</sup> June 2017.

*Tina M Crown*

**Notary Public, State of Michigan**  
**Acting in Oakland County**

**Advertisement Information**

Client Id: 531226      Ad Id: 1351440      PO:      Sales Person: 200300

## UNION TOWNSHIP PUBLIC HEARING NOTICE -SPECIAL USE PERMIT

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Legal Description of property: T14N R4W, SEC 28, W 1/2 OF E 1/2 OF NE 1/4 OF NW 1/4

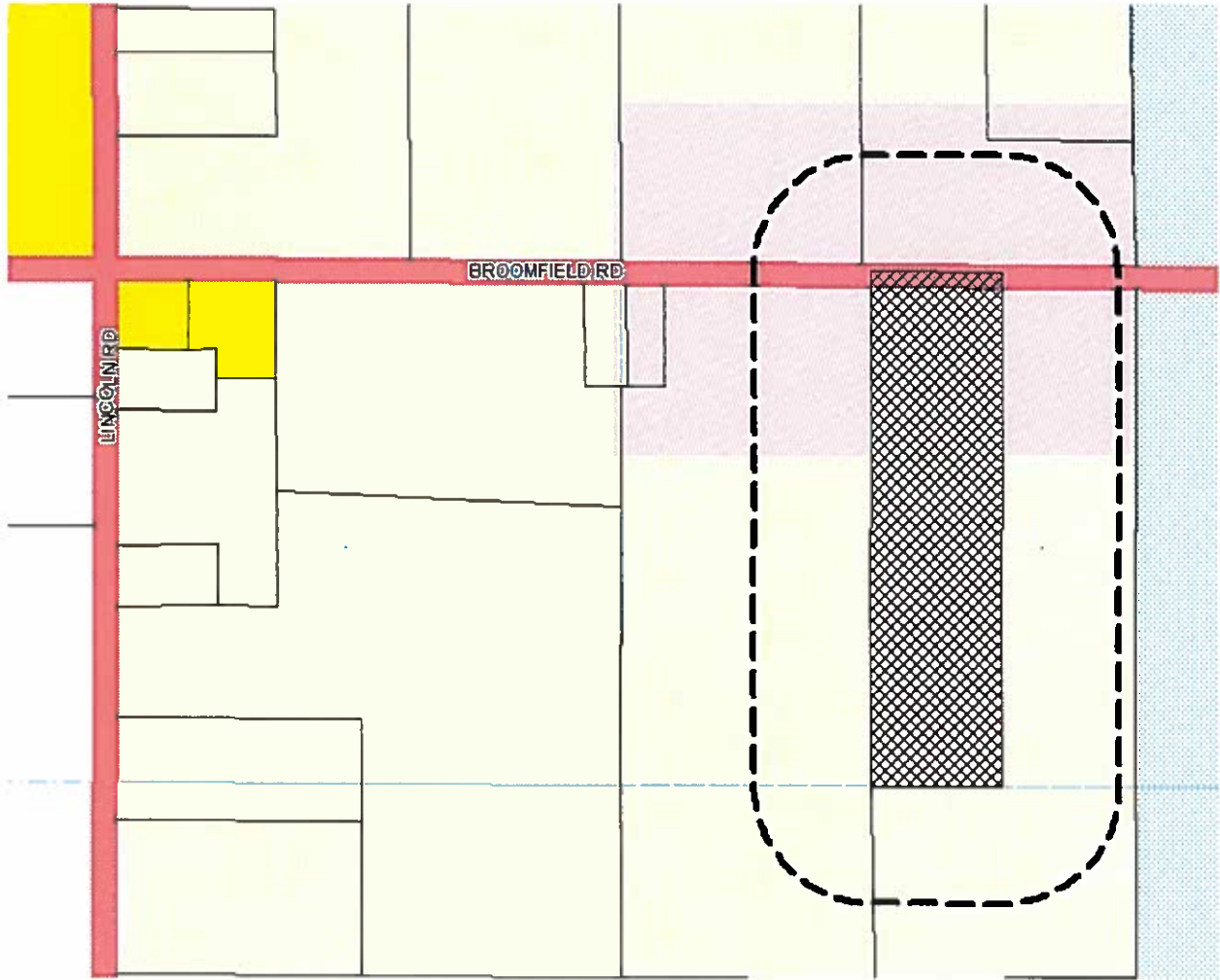
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Peter Gallinat,  
Township Planner





The checked parcel represents 2420 E. Broomfield Rd. The parcel is zoned B-4(General Business District. B-4 Districts are colored pink. The off yellow parcels are R-1 (Rural Residential). The dashed line around the property represents a 300ft radius around the checked property 2420 E. Broomfield Rd.

MCGUIRK MINI STORAGE INC  
PO BOX 530  
MT PLEASANT, MI 48858

B NELSON ENTERPRISES INC  
C/O The Golf Center  
2280 E BROOMFIELD RD  
MOUNT PLEASANT, MI 48858

PETERS EDWARD ET AL  
4240 MILLBROOK RD  
MT PLEASANT, MI 48858

DEANS BRIAN  
2265 E BROOMFIELD RD  
MT PLEASANT, MI 48858

OTTERBINE MICHAEL TRUST  
1832 W IRVING PARK RD APT 2  
CHICAGO, IL 60615

OTTERBINE MICHAEL  
2475 E. BROOMFIELD RD  
MT PLEASANT, MI 48858

**APPLICATION FOR A SPECIAL USE PERMIT**

I (we) MCGUIRK MINI STORAGE INC OWNERS OF PROPERTY AT  
2420 E. BROOMFIELD RD, MT. PLEASANT LEGAL DESCRIPTION AS FOLLOWS:

SEE ATTACHED SHEET

Respectfully request that a determination be made by the Township Board on the following request:

I. Special Use For B4 - Retail Sales of new and used cars, trucks, boats, farm equipment, mobile homes, travel trailers and motor homes.

II. Junk Yard Permit

.....  
**Note:** Use one of the sections below as appropriate. If space provided is inadequate, use a separate sheet.

I. Special Use Permit is requested for Retail Sales of new and used cars, trucks, boats, farm equipment, mobile homes, travel trailers and motor homes.

Give reason why you feel permit should be granted: SEE ATTACHED SHEET

II. Junk Yard Permit requirements are:

Location of property to be used \_\_\_\_\_

Zoning of the area involved is B4

Zoning of the abutting areas B4

.....

Fees \_\_\_\_\_ Signature of Applicant 

Date 5-30-17



**PROPOSED SPECIAL USE  
FOR  
RETAIL SALES OF NEW AND USED CARS, TRUCKS, BOATS, FARM  
EQUIPMENT, TRAVEL TRAILERS AND MOTOR HOMES.**

**LEGAL DESCRIPTION OF THE DEVELOPMENT PARCEL PROVIDED:**

THE WEST 1/2 OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, T14N-R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

**Summary of Request**

Based on our discussions with the Union Township Zoning Administrator, he has stated that he was unable to locate a copy of the previously approved and granted special use for the previous travel trailer, motor home & RV sales that was located on this parcel. He has stated that as the Township was unable to locate their copy and the previous owner could not provide us with a copy, that we would need to re-apply for this same special use.

Thus, based on the Township's direction, please consider the following request for retail sales of new and used cars, trucks, boats, farm equipment, travel trailers and motor homes.

**Give Reason why you feel permit should be granted:**

1. The special use shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property and the surrounding area.

*The proposed use would not require any additional facilities to be constructed on the site. The existing parking spaces along the North end of the existing parking lot would be available for the placement of these items for retail sale. This proposed use is consistent with the previous owners operation and would be far less in inventory.*

*The parcels to the East, South, North and West of the proposed sales area is zoned B-4 and would be consistent in general use.*

*We feel that existing site will not be negatively impacted by the parking of these items and that the current tenant will not be inconvenienced. The site plan has already been reviewed and approved for Commercial activities and the access drive and interior drive isles will accommodate this activity. The office for the sales will be part of one of the existing suites*

2. The special use shall not change the essential character of the surrounding area.

*This type of business had been on the site for many years. The site layout will have no need to be changed. The Northern spaces would just be designated for this use. All natural screening previously provided is still in place.*

3. The special use shall not interfere with the general enjoyment of adjacent property.

*As was previously noted, this use had been performed on this parcel, in the same location for many years. The past use nor this reduced use will interfere with the adjacent properties.*

4. The special use shall not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes, or glare.

*The site access has already been reviewed and approved by the Isabella County Road Commission. The site had been used for this purpose previously and the proposed use is lesser in magnitude. The proposed operations will not pose a health, safety of welfare problem.*

5. The special use shall be adequately served by essential public facilities and services; or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequate services and facilities deemed essential to the special use under consideration. The said facilities or services shall be approved by the Central Michigan District Health Department.

*There will be no need to add any essential services to the site or buildings due to the granting of this special use.*

6. When deemed necessary by the Township Board or Planning Commission, the use shall be adequately screened by distance and landscaping to protect the rights of all adjoining property.

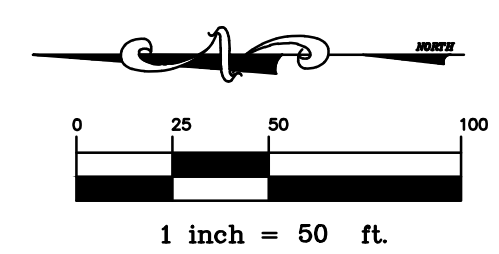
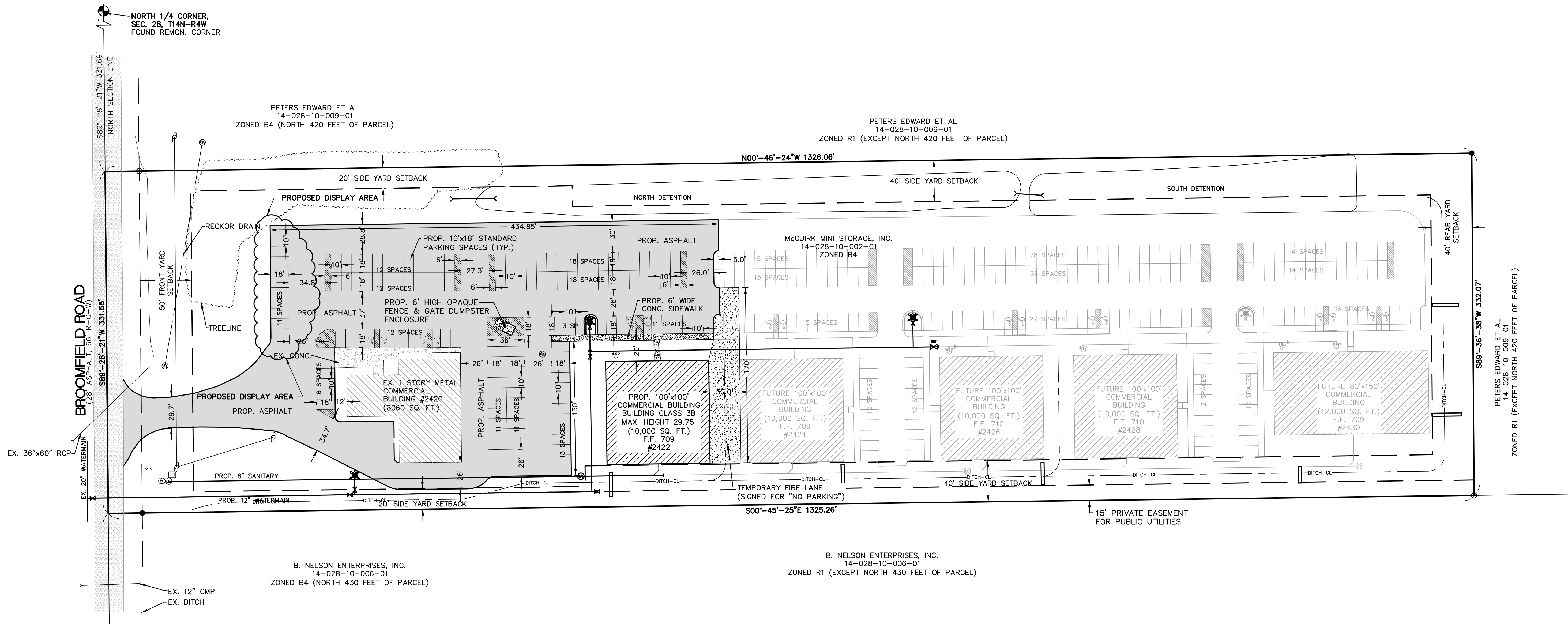
*The Properties to the East, North, South and West are Commercial Zoned Properties and the existing natural screening is still intact.*

7. The Township Board or Planning Commission, in connection with approval of any application, may require reasonable undertaking by the applicant to guarantee and assure by agreement, including a performance bond to be posted by the applicant or by some other reasonable surety arrangement at appropriate stages of the planned development, that the development will be executed in accordance with the approved plan.

*As nothing is being proposed to be built this should not be an issue.*

8. That such use will be an asset to the Township.

*The approval would allow an existing local sales company to remain open and this is a benefit and asset to the Township.*



PARKING TABLE:	
FIRST PHASE ASPHALT PARKING:	
STANDARD PARKING SPACES:	132
A.D.A. PARKING SPACES:	6
FUTURE ASPHALT PARKING:	
STANDARD PARKING SPACES:	210
A.D.A. PARKING SPACES:	10
TOTAL PARKING FOR FIRST PHASE:	138
TOTAL PARKING FOR FUTURE PHASE:	220

**CMS & D**  
 SURVEYING / ENGINEERING  
 510 W. PICKARD STREET - SUITE C  
 MT. PLEASANT, MICHIGAN 48858  
 PHONE: (989) 775-0730  
 FAX: (989) 775-5012  
 EMAIL: info@cms-d.com



**SITE & HORIZONTAL PLAN**  
 MCGUIRK'S BROOMFIELD ROAD DEVELOPMENT  
 PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4  
 SECTION 28, T14N-R4W  
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:  
 8-11-15 REVISE PROP. & FUTURE BUILDINGS  
 8-14-15 REVISED PER M.P.F.D. SITE MEETING  
 10-21-15 REVISED PARKING PER CLIENT

SUBMITTALS:  
 SUBMITTAL TO UNION TOWNSHIP 8-4-15  
 SUBMITTAL TO CLIENT 8-11-15  
 SUBMITTAL TO UNION TOWNSHIP 8-17-15  
 SUBMITTAL TO CLIENT 9-17-15  
 SUBMITTAL TO UNION TWP. Z.B.A. 10-15-15  
 SUBMITTAL TO CLIENT 10-21-15

JOB NUMBER:  
 1504-044  
 DRAWN BY:  
 RLL  
 DESIGNED BY:  
 N/A  
 CHECKED BY:  
 TELB

SCALE  
 1" = 50'  
 SHEET NUMBER  
 3 OF 10



Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: B) SUP 2017-04 Multi Use Structures 1982 E. Remus Rd.**  
(Public Hearing Required)

**Applicant:** CMS&D Surveying and Engineering

**Owner:** Mt Pleasant Investment Properties LLC (Authorized by current owner Greenspace Inc.)

**Location:** 1982 E. Remus Rd. MT PLEASANT, MI 48858

**Current Zoning:** B-5 Highway Business District

**Adjacent Zoning:** B-5/R-3A to the north across the road, B-5/R-2A to the east, B-5 to the west, R-3A to the south.

**Future Land Use/Intent:** Commercial; Shopping, office and professional services with mixed neighborhood commercial uses.

**Current Use:** Coffee shop currently not in business.

**Reason for Request:** Applicant proposes office structure for McGuirk Sand and Gravel Excavating along with multiple other offices.

**History:** Applicant was informed at the time they applied that they would not need a multi use special use due to the structure not having a combination of retail and residential use.

Applicant asked to proceed with the application in case the planning commission interpreted multi use as different.

**Objective of board:** Determine if the applicant's request qualifies as a multi-use as allowed in a B-5 district. If the determination is the applicant qualifies than within reasonable time following the public hearing, the Planning Commission shall review the application for the special use permit, testimony received at the public hearing, and other materials submitted in relation to the request and make a recommendation to the Township Board.

If the applicant is determined to not qualify for a multi use the request shall be withdrawn from consideration.

**Recommend at this time the request withdrawn due to not qualifying as a multi use structure.**

- Section 3.51 of the zoning ordinance defines multi use structures as "For the purpose of this ordinance, the term "Multi-Use" shall mean any structure which provides both a business and a residential component.

Peter Gallinat  
Twp Planner

## AFFIDAVIT OF PUBLICATION

48 West Huron Street • Pontiac, MI 48342

CHARTER TOWNSHIP OF UNION  
2010 S Lincoln

Mount Pleasant, MI 48858  
Attention: PETER GALLINAT

STATE OF MICHIGAN,  
COUNTY OF ISABELLA

*Spk Peter Gallinat*  
*Take Allport*

The undersigned \_\_\_\_\_, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

### CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun	06/04/17
morningstarpublishing.com	06/04/17



Sworn to the subscribed before me this 5<sup>th</sup> June 2017

*Tina M. Crown*

Notary Public, State of Michigan  
Acting in Oakland County

UNION TOWNSHIP PUBLIC HEARING NOTICE -SPECIAL USE PERMIT

NOTICE is hereby given that a Public Hearing will be held on Tuesday, June 20, 2017, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a Special Use Permit, as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by Mt. Pleasant Investments Properties, LLC, a Special Use Permit in a B-5 (Highway Business District) zone for Multi-Use Structures.

Legal Description of property: T14N R4W, SEC 20; COMM AT THE NE CORNER OF SECTION 20; S 89D37M58S W ALG N SEC LN 242 FT; TH S 100M7S E 178 FT; TH S 89D37M58S W 165 FT; TH N 100M7S W 178 FT TO N SEC LN; TH S 89D37M58S W 914 FT; TH S 100M7S E 182 FT; TH S 89D37M58S W 34 FT; TH S 100M7S E 132 FT; TH S 89D37M58S W 594 FT; TH S 100M7S E 386 FT; TH N 89D37M58S E 1949 FT TO E SEC LN; TH N 100M7S W 700 FT TO POB 26.2 ACRES

This property is located at: 1982 E. REMUS RD MT PLEASANT, MI 48858  
PID 14-020-20-001-01

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,  
Township Planner

Published June 4, 2017

### Advertisement Information

Client Id: 531226

Ad Id: 1351392

PO:

Sales Person: 200300



R. EDWARD KUHN  
TERRY C. ROGERS  
*(LLM, Taxation)*  
A. BROOKS DARLING  
EDGAR ROY III  
JOSEPH E. QUANDT  
GREGORY J. DONAHUE  
GREGORY L. JENKINS



412 SOUTH UNION STREET  
TRAVERSE CITY, MICHIGAN 49684  
TELEPHONE: 231-947-7900  
FAX: 231-941-5154

LANSING OFFICE:  
2937 ATRIUM DRIVE, SUITE 200  
OKEMOS, MICHIGAN 48864  
TELEPHONE: 517-347-7720

TROY W. STEWART  
GINA A. BOZZER  
MATTHEW L. BOYD  
CHRISTOPHER G. ROGERS  
*(also admitted in Illinois)*  
MARC S. McKELLAR II

OF COUNSEL:  
LEWIS G. GATCH

June 15, 2017

**FACSIMILE COVER SHEET**

Please deliver the following pages to:

Name: Peter Gallinat  
Fax No.: 989-773-1988  
RE: Mt. Pleasant Investment Properties, LLC  
From: Joe Quandt

Total number of pages (including cover sheet):

Our File No.

Message:

**THE INFORMATION CONTAINED IN THIS FACSIMILE TRANSMISSION IS  
ATTORNEY-CLIENT PRIVILEGED AND CONFIDENTIAL**

It is intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution, or copy of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone, collect, and return the original message to us at the above address via the U.S. Postal Service. We will reimburse you for the postage. Thank you.

Transmitted By: Sherri  
Direct Dial: (231) 947-7901 x114



R. EDWARD KUHN  
TERRY C. ROGERS  
*(LLM, Taxian)*  
EDGAR ROY III  
JOSEPH E. QUANDT  
GREGORY J. DONAHUE  
GREGORY L. JENKINS  
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412 SOUTH UNION STREET  
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*(also admitted in Illinois)*  
MARC S. McKELLAR II

OF COUNSEL:  
LEWIS G. GATCH  
A. BROOKS DARLING

June 15, 2017

**VIA FAX - 989-773-1988**  
**VIA EMAIL - pgallinat@uniontownshipmi.com**  
**AND FIRST CLASS MAIL**  
Peter Gallinat  
Zoning Administrator  
Charter Township of Union  
2010 S. Lincoln Road  
Mt. Pleasant, MI 48858

Re: Mt. Pleasant Investment Properties, LLC

Dear Peter:

Pursuant to our discussion earlier today, this letter is to advise you that my client, Mt. Pleasant Investment Properties, LLC, is appropriately authorized to seek site plan approval and special use permit approval as requested in applications previously submitted to Union Township. It is my understanding that you may have been under the mistaken perception that my client did not have appropriate authority. Please be advised that my client has a purchase agreement in place with the current owners of the property which provides my client authorization to pursue township approval for my client's proposed land use. Enclosed is a copy of correspondence from the owner's attorney which more definitively sets forth my client's authority to seek these approvals.

Also, for clarification purposes with respect to the applications submitted, please be advised that Mt. Pleasant Investment Properties, LLC is not the owner of the property, but is authorized to seek site plan approval and special use permit approval from the owner. Accordingly, on the application for special use permit and application for site plan review, please feel free to place the notation on the applications with respect to my client's authorizations as referenced in the attached document. Please provide a copy of this letter in the package to the Planning Commission, so that this clarification and authorization is part of the administrative record of my client's applications.

Please let me know if you have any questions, comments or concerns related to this clarification.

Sincerely,

KUHN ROGERS PLC

Joseph E. Quandt  
Direct Dial: (231) 947-7901 x115  
jequandt@krlawtc.com

JEQ:shp  
enclosures



GREGORY T. DEMERS

989-698-3708  
FAX 989-486-6108

GDemers@wnj.com

June 15, 2017

Re: **Figg Equities Limited Partnership / Mt. Pleasant Investment Properties, LLC**

To whom it may concern:

Please be advised that I am the representative of the owner of real property owned by Figg Equities Limited Partnership, which is described on the attached Exhibit A (the "Property"). This letter is to advise you that the Property is subject to a purchase agreement whereby Mount Pleasant Investment Properties, LLC is the prospective purchaser of the Property. Under the purchase agreement, Mount Pleasant Investment Properties, LLC has the right to seek zoning or land use approvals so long as those approvals are conditioned upon Mount Pleasant Investment Properties, LLC (or its allowed/designated assignee) actually purchasing the property. Mount Pleasant Investment Properties, LLC has the authority of the owner of the Property to seek these conditional approvals from any and all governmental authorities, including the Union Township Planning Commission and Union Township Board of Trustees for site plan or special use permit approval, subject to the conditions referenced above.

Very truly yours,

Gregory T. Demers

GTD/hmt  
15955759

Warner Norcross & Judd LLP  
Attorneys at Law  
716 East Main Street Suite 110  
Midland, Michigan 48640 • www.wnj.com

**EXHIBIT A**

A parcel of real estate approximately forty-six (46) acres; excepting seven (7) acres, consisting of a parcel bounded on the north by the south line of Parcel I.D. #14-020-20-001-02, by Lincoln Road to the east, by McGuirk Road to the south, and on the west at a line determined by survey to equal a seven (7) acre parcel; property to be sold is thirty-nine (39) acres +/- to be confirmed by survey located at South Lincoln Road, Union Township, Isabella County, Michigan (the "Premises"), more particularly described as:

Commencing 1102.88 feet South of the Northeast corner of Section 20, Town 14 North, Range 4 West, thence West 577.48 feet; thence North 15 degrees 57 minutes 11 seconds West, 209.03 feet; thence North 00 degrees 09 minutes 44 seconds West, 208.6 feet; thence North 89 degrees 21 minutes 46 seconds West, 1313.49 feet; thence South 640 feet; thence East 610.12 feet; thence South 660 feet; thence East 1338.88 feet, thence North 897.12 feet to the Point of Beginning.

Excepting:

Town 14 North, Range 4 West, Section 20, Commence 1102.88 feet South of the Northeast corner; thence South 472.16 feet; thence West 633.03 feet; thence North 00 degrees 09 minutes 44 seconds West, 673.14 feet; thence South 15 degrees 57 minutes 11 seconds East, 209.03 feet; thence East 577.48 feet to the Point of Beginning. 7.0 acres, more or less, and subject to an easement over the South 66.00 feet thereof for private roadway purposes.



GREGORY T. DEMERS

989-698-3708  
FAX 989-486-6108

GDemers@wnj.com

June 15, 2017

**Re: Greenspace, Inc. / Mt. Pleasant Investment Properties, LLC**

To whom it may concern:

Please be advised that I am the representative of the owner of real property owned by Greenspace, Inc., which is described on the attached Exhibit A (the "Property"). This letter is to advise you that the Property is subject to a purchase agreement whereby Mount Pleasant Investment Properties, LLC is the prospective purchaser of the Property. Under the purchase agreement, Mount Pleasant Investment Properties, LLC has the right to seek zoning or land use approvals so long as those approvals are conditioned upon Mount Pleasant Investment Properties, LLC (or its allowed/designated assignee) actually purchasing the property. Mount Pleasant Investment Properties, LLC has the authority of the owner of the Property to seek these conditional approvals from any and all governmental authorities, including the Union Township Planning Commission and Union Township Board of Trustees for site plan or special use permit approval, subject to the conditions referenced above.

Very truly yours,

A handwritten signature in black ink, appearing to read 'G. Demers'.

Gregory T. Demers

GTD/hmt  
15955781

**EXHIBIT A**

A parcel of real estate approximately twenty-six point two (26.2) acres in size located at South Lincoln Road, Union Township, Isabella County, Michigan (the "Premises"), more particularly described as:

**B-5**

T14N R4W, Section 20; commencing at the Northeast corner of Section 20; South 89°37'58" West along the North section line 242 feet; thence South 1°0'7" East 178 feet; thence South 89°37'58" West 165 feet; thence North 1°0'7" West 178 feet to the North section line; thence South 89°37'58" West 914 feet; thence South 1°0'7" East 182 feet; thence South 89°37'58" West 34 feet; thence South 1°0'7" East 132 feet; thence South 89°37'58" West 594 feet; thence South 1°0'7" East 386 feet; thence North 89°37'58" East 1949 feet to the East section line; thence North 1°0'7" West 700 feet to the Point of Beginning. (26.2 acres.)  
Parcel I.D. # 14-020-20-001-01

## UNION TOWNSHIP PUBLIC HEARING NOTICE -SPECIAL USE PERMIT

NOTICE is hereby given that a Public Hearing will be held on Tuesday, June 20, 2017, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a Special Use Permit, as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by **Mt. Pleasant Investments Properties, LLC**, a Special Use Permit in a B-5 (Highway Business District) zone for Multi-Use Structures.

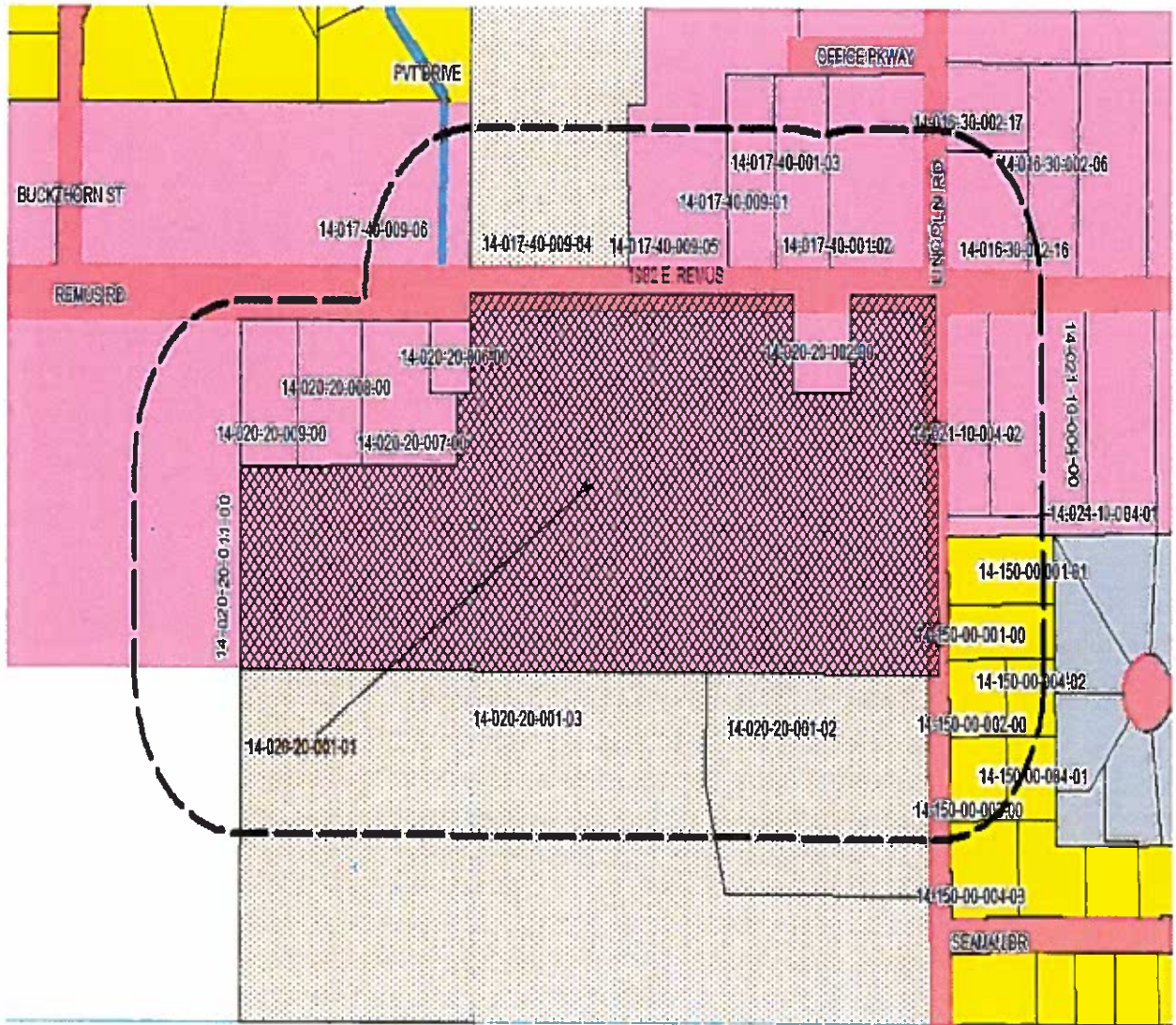
Legal Description of property: T14N R4W, SEC 20; COMM AT THE NE CORNER OF SECTION 20; S 89D37M58S W ALG N SEC LN 242 FT; TH S 1D0M7S E 178 FT; TH S 89D37M58S W 165 FT; TH N 1D0M7S W 178 FT TO N SEC LN; TH S 89D37M58S W 914 FT; TH S 1D0M7S E 182 FT; TH S 89D37M58S W 34 FT; TH S 1D0M7S E 132 FT; TH S 89D37M58S W 594 FT; TH S 1D0M7S E 386 FT; TH N 89D37M58S E 1949 FT TO E SEC LN; TH N 1D0M7S W 700 FT TO POB 26.2 ACRES

This property is located at: 1982 E. REMUS RD MT PLEASANT, MI 48858  
PID 14-020-20-001-01

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,  
Township Planner



The checkered parcel represents 1982 E. Remus Rd. This parcel is zoned B-5 (Highway Business District). The pink parcels are B-5. The brownish tan colored parcels represent R-3A (Multiple-Family Residential District). The yellow parcels represent R-2A (One and Two Family Low Density Residential District). The off yellow parcel represents R-1 (Rural Residential District). The grey parcels represent I-1 (Light Industrial District). The dashed line around the subject property represents a 300 foot radius around 1982 E. Remus Rd.



MCGUIRK MINI STORAGE INC  
PO BOX 530  
MT PLEASANT, MI 48804-0530

GREENSPACE INC  
1982 E. REMUS RD.  
MT PLEASANT, MI 48858

UNION FARMS LLC  
1720 E. PICKARD RD.  
MT PLEASANT, MI 48858

FIGG RICHARD & BETTY  
1239 E. BROOMFIELD RD.  
MT PLEASANT, MI 48858

FIGG RICHARD & BETTY  
ARBORETUM APARTMENTS  
6860 ST. ADREWS DR.  
MT PLEASANT, MI 48858

SWINDLEHURST RICHARD  
700 N. ISABELLA  
MT PLEASANT, MI 48858

WIECZOREK STEVEN M.  
767 S. DOE TRL  
MT PLEASANT, MI 48858

UTTERBACK CURT J & ROBYN L  
3397 S. LINCOLN RD.  
MT PLEASANT, MI 48858

ISABELLA COMMUNITY CREDIT  
UNION  
P.O. BOX 427  
2100 E. REMUS RD.  
MT PLEASANT, MI 48804-0427

BRENDA ROBINSON, TRUSTEE  
2970 GRANDE OAKS WAY  
ORANGE PARK, FL 30003

MID MICHIGAN PROPERTY GROUP  
2060 REMUS RD.  
MT PLEASANT, MI 48858

SCOTLAND LEASING CORP  
114 GRANT  
ALMA, MI 48801

RI CS4 LLC  
ATTN: PM DEPT #2500  
11995 EL CAMINO REAL  
SAN DIEGO, CA 92130

RYANS INVESTMENTS LLC  
P.O. BOX 753  
MT PLEASANT, MI 48804-0753

MCDONALDS CORPORATION (21-  
1306)  
P.O. BOX 182571  
COLUMBUS, OH 43218-2571

MERCANTILE BANK  
102 S. MAIN ST.  
MT PLEASANT, MI 48858

TWENTY WEST PARTNERSHIP INC.  
P.O. BOX 329  
MOUNT PLEASANT, MI 48804-0329

VICTORY CHRISTIAN CENTER  
2445 S. LINCOLN RD.  
MT PLEASANT, MI 48858

MASS, MT. PLEASANT LLC  
1845 BIRMINGHAM SE  
LOWELL, MI 49331

ZENEBERG GAIL D  
1688 E. REMUS  
MT PLEASANT, MI 48858

PETRO-VEST OPERATING LLC  
P.O. BOX 653  
MT PLEASANT, MI 48804-0653

EDC INVESTMENTS, LLC  
P.O. BOX 653  
MT PLEASANT, MI 48804-0653

HALL LELAND R & DINAH REV TRUST  
TINK SALES & SERVICES INC.  
1302 E HIGH ST.  
MT PLEASANT, MI 48858

**APPLICATION FOR A SPECIAL USE PERMIT**

I (we) MT. PLEASANT INVESTMENTS PROPERTIES, LLC. OWNERS OF PROPERTY AT  
14-020-20-001-01 LEGAL DESCRIPTION AS FOLLOWS:

SEE ATTACHED SHEET

Respectfully request that a determination be made by the Township Board on the following request:

- I. Special Use For MULTI-USE STRUCTURES
- II. Junk Yard Permit

Note: Use one of the sections below as appropriate. If space provided is inadequate, use a separate sheet.

I. Special Use Permit is requested for MULTI-USE STRUCTURES

Give reason why you feel permit should be granted: SEE ATTACHED SHEET

II. Junk Yard Permit requirements are:

Location of property to be used \_\_\_\_\_

Zoning of the area involved is B5

Zoning of the abutting areas R3A

Fees \_\_\_\_\_ Signature of Applicant \_\_\_\_\_



*[Handwritten Signature]*  
JASON BLANKST, AUTHORIZED AGENT  
Date 5/30/17

**Mt Pleasant Investment Properties LLC**

May 25, 2017

Charter Township of Union  
2010 S. Lincoln  
Mt. Pleasant, MI 48858

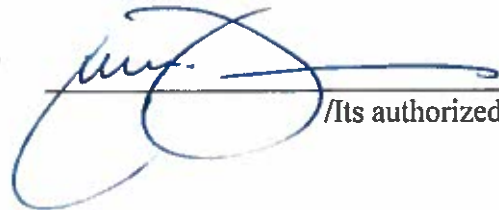
Re: Authorized Agent

To whom it may concern,

Mt. Pleasant Investment Properties, LLC has authority to pursue zoning or land use approvals including but not limited to, site plan reviews or special use permits from the title holders of certain properties pursuant to purchase agreements with those owners. Those properties include: parcel ID 14-020-20-001-03, 14-020-20-002-00, and 14-020-20-001-01. Mt. Pleasant Investment Properties, LLC therefore authorizes CMS&D to act on behalf, as its agent, to seek such land use approvals.

Regards,

Mt. Pleasant Investment Properties, LLC

  
\_\_\_\_\_  
/Its authorized Agent

# PROPOSED SPECIAL USE FOR MULTI-USE STRUCTURE

## LEGAL DESCRIPTION OF THE PROPOSED B-5 DEVELOPMENT PARCEL:

A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-55'-57"E., PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 1313.60 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 386.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 594.13 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 132.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 34.00 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 182.00 FEET TO A POINT ON SAID NORTH SECTION LINE, THENCE N.89°-42'-08"E., ON AND ALONG SAID NORTH SECTION LINE, 685.44 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 16.68 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

## LEGAL DESCRIPTION FOR PROPOSED SPECIAL USE:

A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-55'-57"E., PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 691.56 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION; THENCE N.00°-39'-12"W., ON AND ALONG SAID EAST 1/8 LINE, 385.98 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 29.76 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 132.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 34.00 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 182.00 FEET TO A POINT ON SAID NORTH SECTION LINE, THENCE N.89°-42'-08"E., ON AND ALONG SAID NORTH SECTION LINE, 685.44 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 11.16 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

## Summary of Request

Based on our discussions with the Union Township Zoning Administrator, we have been instructed to submit a Special Use Request for the proposed development having a structure with multiple commercial uses and tenants. We do question the submittal based on a review of the Ordinance's Definitions as it would seem to only mean when a "Residential Component" is combined with Commercial Uses.

## **3.51 MULTI-USE STRUCTRES**

For the purpose of this ordinance, the term "Muti-Use" shall mean any structure which provides both a business and a residential component.

However, based on the Township's direction, please consider the following multi-commercial use and multi-tenant structure.

**Give Reason why you feel permit should be granted:**

1. The special use shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property and the surrounding area.

*The proposed development sets on the South side Remus Road (M-20) in a commercial area. To the North there lies a fast food restaurant and a bank with a drive thru. To the East there lies a vehicle repair and a used vehicle sales and at the Southwest corner of Lincoln and Remus, lies a ice cream and coffee shop. On the Northeast corner of Lincoln and Remus, lies a gas station and convenience store. To the Northwest lies two vacant signal family homes which have been purchase by a local developer that has his office on the third parcel. On the Southwest lies a proposed commercial development also being considered.*

*We feel that we have designed the overall site layout and the proposed building to be an asset to the surrounding commercial properties. We have met with the Road Commission and MDOT Engineers to assure that the access to the site was appropriate for the intended use. All drive isles are larger that those required by the ordinance and we have shown more than adequate parking.*

2. The special use shall not change the essential character of the surrounding area.

*The types of businesses and uses which are being proposed are consistent with others along Remus (M-20). Fisher Companies own and operate similar operations approximately ¼ mile to the East and the Isabella County Road Commission office and truck yard is also approximately ¼ mile to the East. Michigan Micro Tech is also operating a trucking facility just West of the Isabella County Road Commission. There are also used car lots and rental equipment operations all along this same area.*

*To the North there lies a fast food restaurant and a bank with a drive thru. To the East there lies a vehicle repair and a used vehicle sales and at the Southwest corner of Lincoln and Remus, lies a ice cream and coffee shop. On the Northeast corner of Lincoln and Remus, lies a gas station and convenience store. To the Northwest lies two vacant signal family homes which have been purchase by a local developer that has his office on the third parcel. On the Southwest lies a proposed commercial development also being considered.*

3. The special use shall not interfere with the general enjoyment of adjacent property.

*The adjacent properties to the North, West and East are either zoned commercial and/or zoned and operated as commercial or are zoned and/or zoned and operated as multi-family. The vacate zoned multi-family property to the South will be separated from the development by a shared Private Roadway.*

4. The special use shall not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes, or glare.

*Based on our discussions with MDOT their preferred point of access for the parcel was out to Lincoln Road. Based on this, a Private Roadway has been shown to extend from the development East to Lincoln Road. This Roadway has been slide to the South as far as possible to allow more distance to the traffic light at Lincoln and Remus, while still abiding by the Isabella County Road Commissions Access Management Design Criteria. The proposed operations will not pose a health, safety of welfare problem.*

*The proposed project will also be monitored by security cameras,*

5. The special use shall be adequately served by essential public facilities and services; or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequate services and facilities deemed essential to the special use under consideration. The said facilities or services shall be approved by the Central Michigan District Health Department.

*The proposed development will be extending Public Water, Public Sewer and its own Private Storm Sewer Services. Fire Flows were completed by the Township DPW in conjunction with the Mt. Pleasant Fire Department on the Water System to assure that there was adequate flow and pressure for the system. The existing sanitary sewer system has capacity for the proposed development and the newly installed County Drain along Lincoln Road also has capacity for the propose private system.*

6. When deemed necessary by the Township Board or Planning Commission, the use shall be adequately screened by distance and landscaping to protect the rights of all adjoining property.

*The Properties to the East, North and West are Commercial Properties which will benefit from a new up scale development being built. The Vacant Multi-Family to the South will benefit from the provided access, public water, public sewer and the access to a storm sewer system.*

7. The Township Board or Planning Commission, in connection with approval of any application, may require reasonable undertaking by the applicant to guarantee and assure by agreement, including a performance bond to be posted by the applicant or by some other reasonable surety arrangement at appropriate stages of the planned development, that the development will be executed in accordance with the approved plan.

*The proposed development, if approved will be constructed in compliance with the approved plans. The township has the ability to withhold final occupancy should this not occur. Due to the size of the project, the building and site development will be tackled in phases. The Northern half of the Building will commence first.*

8. That such use will be an asset to the Township.

*The proposed development constitutes a multi-million dollar investment into the community. The renders show that the development will be an up scale improvement to the surrounding area and will be an asset to the community.*

**Mt Pleasant Investment Properties LLC**

May 25, 2017

Charter Township of Union  
2010 S. Lincoln  
Mt. Pleasant, MI 48858

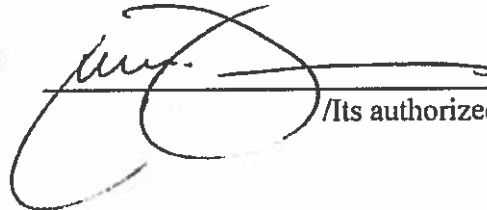
Re: Authorized Agent

To whom it may concern,

Mt. Pleasant Investment Properties, LLC has authority to pursue zoning or land use approvals including but not limited to, site plan reviews or special use permits from the title holders of certain properties pursuant to purchase agreements with those owners. Those properties include: parcel ID 14-020-20-001-03, 14-020-20-002-00, and 14-020-20-001-01. Mt. Pleasant Investment Properties, LLC therefore authorizes CMS&D to act on behalf, as its agent, to seek such land use approvals.

Regards,

Mt. Pleasant Investment Properties, LLC

  
\_\_\_\_\_  
/Its authorized Agent



EAST VIEW



SOUTHEAST VIEW



NORTHEAST VIEW





**NORTH VIEW**



**STORAGE UNITS**



**STORAGE UNITS**

# SITE PLAN FOR COMMERCIAL PROPERTY LINCOLN RD. & E. REMUS RD. (M-20)

B-5 ZONE	
MINIMUM FRONT YARD SETBACK	50 FT (A,B)
MINIMUM SIDE YARD SETBACK	20 FT (B)
MINIMUM REAR YARD SETBACK	25 FT (A,B)
MINIMUM LOT FRONTAGE	100 FT
MINIMUM LOT AREA (SQ FT)	16,000 SQ FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM LOT COVERAGE (%)	30%

- A. OFF-STREET PARKING SHALL BE PERMITTED TO OCCUPY A PORTION OF THE REQUIRED FRONT YARD, PROVIDED THAT THERE SHALL BE MAINTAINED A MINIMUM UNOBSTRUCTED AND LANDSCAPED SETBACK OF TEN (10) FEET BETWEEN THE NEAREST POINT OF THE OFF-STREET PARKING AREAS, EXCLUSIVE OF ACCESS DRIVEWAYS AND THE NEAREST RIGHT-OF-WAY LINE AS INDICATED ON THE MAJOR THOROUGHFARE PLAN.
- B. A LOT IN THE B-5 DISTRICT WILL PROVIDE A SIDE AND REAR YARD OF AT LEAST FORTY (40) FEET WHEN ABUTTING A RESIDENTIAL DISTRICT.

R-3A ZONE	
MINIMUM FRONT YARD SETBACK	35 FT
MINIMUM SIDE YARD SETBACK	30 FT
MINIMUM REAR YARD SETBACK	25 FT
MAXIMUM BUILDING HEIGHT	35 FT (F)
MINIMUM LOT AREA (TWO FAM.)	(G)
MINIMUM LOT AREA (SING. FAM.)	(G)
MINIMUM FLOOR AREA (SING. FAM.)	500 SQ. FT.

- B. MINIMUM FLOOR AREA EXCLUDES PORCHES, GARAGES, BASEMENTS, OR UTILITY AREAS. FOR EACH ADDITIONAL BEDROOM ADD ONE HUNDRED (100) SQUARE FEET.
- F. NO BUILDING OR STRUCTURE SHALL EXCEED A HEIGHT OF THIRTY-FIVE (35) FEET, EXCEPT APARTMENTS MAY BE INCREASED NOT TO EXCEED A MAXIMUM HEIGHT OF SEVENTY (70) FEET; PROVIDED THAT ANY REQUIRED YARD SHALL BE INCREASED BY ONE (1) FOOT FOR EACH IN HEIGHT THE STRUCTURE EXCEEDS THIRTY-FIVE (35) FEET.
- G. MULTI-FAMILY

REQUIRED GROUND PER UNIT, NO. UNITS	R-3A
MINIMUM FRONT YARD SETBACK	4,000 SQ FT
MINIMUM SIDE YARD SETBACK	3,600 SQ FT
MINIMUM REAR YARD SETBACK	3,200 SQ FT
MAXIMUM BUILDING HEIGHT	2,900 SQ FT

**MISS DIG:**  
FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

**UTILITY NOTE:**  
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

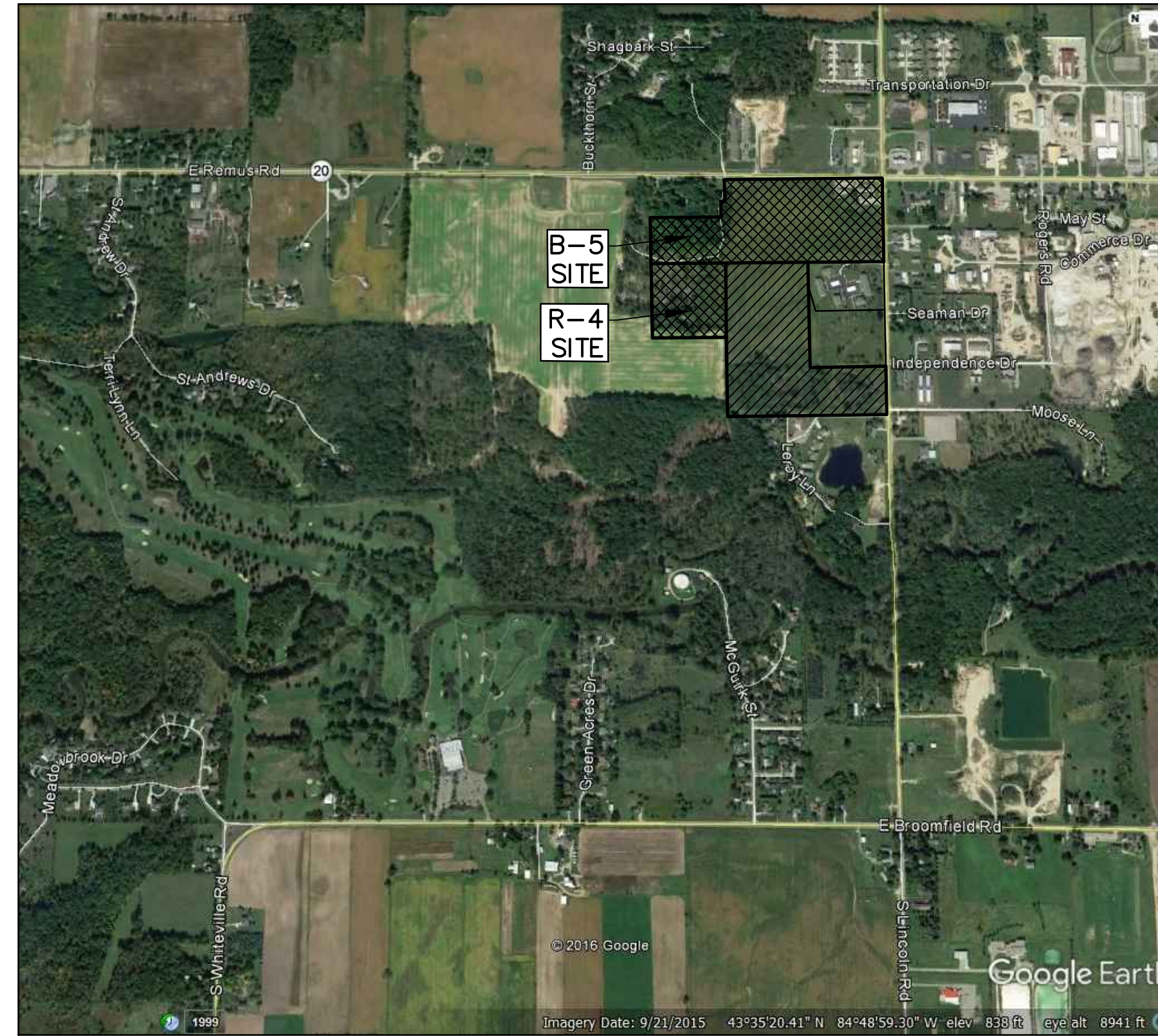
### LEGEND

#### SYMBOLS

○ BOLLARD	⊠ GAS RISER	⊙ SOIL BORING
⊠ CATCH BASIN (CURB INLET)	⊠ GUY ANCHOR	⊙ STORM SEWER MANHOLE
⊠ CATCH BASIN (ROUND)	⊠ HYDRANT - EXISTING	⊙ TELEPHONE RISER
⊠ CATCH BASIN (SQUARE)	⊠ HYDRANT - PROPOSED	⊙ TREE - CONIFEROUS
⊠ CLEAN OUT	⊠ LIGHT POLE	⊙ TREE - DECIDUOUS
→ DRAINAGE FLOW	⊠ MAILBOX	⊙ UTILITY POLE
⊠ ELECTRICAL BOX	⊠ MONITORING WELL	⊙ WATER MAIN VALVE
⊙ FOUND CONC. MONUMENT	⊙ SANITARY SEWER MANHOLE	⊙ WATER SHUT-OFF
○ FOUND IRON	⊙ SET IRON	⊙ WATER WELL
⊙ GAS MAIN VALVE	⊙ SIGN	⊙ WOOD STAKE

LINETYPES		HATCH PATTERNS	
—ELEC—	BURIED ELECTRICAL CABLE	[Pattern]	ASPHALT - EXISTING
—PHONE—	BURIED TELEPHONE CABLE	[Pattern]	ASPHALT - PROPOSED
-DITCH-CL-	CENTERLINE OF DITCH	[Pattern]	CONCRETE
—FM—	FORCE MAIN	[Pattern]	GRAVEL
—GAS—	GAS MAIN	[Pattern]	LANDSCAPING
—RD-CL—	ROAD CENTERLINE	[Pattern]	RIP-RAP
—8" SAN—	SANITARY SEWER		
—12" SS—	STORM SEWER		
—EK-TOS—	TOE OF SLOPE		
—OHE—	TOP OF BANK		
—OHE—	UTILITIES - OVERHEAD		
—UTIL—	UTILITIES - UNDERGROUND		
—12" WM—	WATER MAIN		



PART OF THE NORTHEAST 1/4, SECTION 20, T14N-R4W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN  
**LOCATION MAP**  
NOT TO SCALE

**PROPOSED B-5 DEVELOPMENT PARCEL DESCRIPTION:**  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-55'-57"E., PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 1313.60 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 386.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 594.13 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 132.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 34.00 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 182.00 FEET TO A POINT ON SAID NORTH SECTION LINE, THENCE N.89°-42'-08"E., ON AND ALONG SAID NORTH SECTION LINE, 685.44 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 16.68 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

**PROPOSED R-3A DEVELOPMENT PARCEL DESCRIPTION:**  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.00°-55'-57"E., ON AND ALONG THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH THE NORTH LINE OF SAID SECTION, 1327.12 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-39'-12"E., ON AND ALONG SAID EAST 1/8 LINE, 622.35 FEET TO ITS INTERSECTION WITH THE NORTH 1/8 LINE OF SAID SECTION; THENCE S.89°-41'-48"W., ON AND ALONG SAID NORTH 1/8 LINE, 619.03 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 622.41 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 622.03 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 8.87 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

**PROPOSED B-5 SPECIAL USE - SELF STORAGE - PARCEL DESCRIPTION:**  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-55'-57"E., PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 691.56 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION; THENCE N.00°-39'-12"W., ON AND ALONG SAID EAST 1/8 LINE, 385.98 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 29.76 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 132.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 34.00 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 182.00 FEET TO A POINT ON SAID NORTH SECTION LINE, THENCE N.89°-42'-08"E., ON AND ALONG SAID NORTH SECTION LINE, 685.44 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 11.16 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

**PROPOSED B-5 SPECIAL USE - MULTI-USE STRUCTURE - PARCEL DESCRIPTION:**  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-55'-57"E., PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 691.56 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION; THENCE N.00°-39'-12"W., ON AND ALONG SAID EAST 1/8 LINE, 385.98 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 29.76 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 132.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 34.00 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 182.00 FEET TO A POINT ON SAID NORTH SECTION LINE, THENCE N.89°-42'-08"E., ON AND ALONG SAID NORTH SECTION LINE, 685.44 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 11.16 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

SHEET INDEX	
1	COVER SHEET
2	BOUNDARY - EASEMENT SHEET
3	TOPOGRAPHY SURVEY SHEET (1)
4	TOPOGRAPHY SURVEY SHEET (2)
5	TOPOGRAPHY SURVEY DETAIL SHEET
6	OVERALL SITE PLAN - WEST
7	OVERALL SITE PLAN - EAST
8	OVERALL UTILITY PLAN - WEST
9	OVERALL UTILITY PLAN - EAST
10	STORM DRAINAGE PLAN - WEST
11	OVERALL STORM PLAN EAST

**FLOOD\_ZONE\_CERTIFICATION:**  
A PORTION OF SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF A BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 26073C0305D WITH AN EFFECTIVE DATE OF FEBRUARY 5, 2014 FOR ISABELLA COUNTY, MICHIGAN COMMUNITY NO. 260812 IN UNION CHARTER TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

**BENCHMARKS:**  
**BENCHMARK #1:** FOUND AN ALUMINUM MICHIGAN DEPARTMENT OF TRANSPORTATION HEIGHT MODERNIZATION MARK DISK SET IN THE TOP OF A 12 INCH DIAMETER CONCRETE POST. LOCATION IS AT THE SOUTH EAST CORNER OF THE LINCOLN ROAD AND REMUS ROAD (M-20) INTERSECTION. ELEVATION 786.62

**BEARING BASIS:**  
PER GEODETIC OBSERVATION WGS-84 THE BEARING BETWEEN THE NORTHEAST CORNER AND THE NORTH 1/4 CORNER OF SECTION 20, T14N-R4W WAS DETERMINED TO BE S89°-42'-08"W.

<b>SITE:</b>	SOUTHWEST CORNER OF THE INTERSECTION OF REMUS ROAD (M-20) AND LINCOLN ROAD. MT. PLEASANT, MI 48858
<b>CLIENT:</b>	MT. PLEASANT INVESTMENT PROPERTIES, LLC 2937 ATRIUM DRIVE, SUITE 200 OKEMOS, MI 48864 CONTACT: JOSEPH QUANDT PHONE: (231) 947-7901 EXT. 115
<b>CONSULTANT:</b>	CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC. 510 W. PICKARD STREET - SUITE C MT. PLEASANT, MI 48858 CONTACT PERSON: TIMOTHY E BEBEE PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com

<b>CHARTER COMMUNICATIONS</b> 915 E. BROOMFIELD ROAD MT. PLEASANT, MI 48858 (989) 621-4932 RANDY BUNKER rbunker@chartercom.com	<b>CHARTER TOWNSHIP OF UNION</b> PUBLIC WATER/PUBLIC SEWER 2010 N. LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 24 KIM SMITH ksmith@uniontownshipmi.com
<b>CONSUMERS ENERGY</b> 1325 WRIGHT AVENUE ALMA, MI 48801 (989) 466-4282 KIM STUDD kimberly.studd@cmsenergy.com	<b>CHARTER TOWNSHIP OF UNION</b> PLANNING & ZONING 2010 NORTH LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 241 PETER GALLINAT pgallinat@uniontownshipmi.com
<b>FRONTIER</b> 345 PINE STREET ALMA, MI 48801 (989) 463-0392 MARK A. MARSHALL Mark.Marshall@fr.com	<b>DRAIN COMMISSIONERS OFFICE</b> ISABELLA COUNTY BUILDING 200 NORTH MAIN STREET ROOM 140 MT. PLEASANT, MI 48857 (989) 772-0911 RICK JAKUBIEC drain@isabellacounty.org
<b>DTE ENERGY</b> 4420 44TH ST., S.E., SUITE B KENTWOOD, MI 49512 (616) 954-4623 MARY JO MCKERSIE mckersiem@dteenergy.com	<b>ISABELLA COUNTY ROAD COMMISSION</b> 2261 EAST REMUS ROAD MT. PLEASANT, MI 48858 (989) 773-7131 EXT 115 PATRICK GAFFNEY Pgaffney@isabellaroads.com
<b>MT. PLEASANT FIRE DEPARTMENT</b> 804 EAST HIGH STREET MT. PLEASANT, MI 48858 (989) 779-5100 EXT 5122 SGT. RANDY KEELER rkeeler@mt-pleasant.org	

**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com



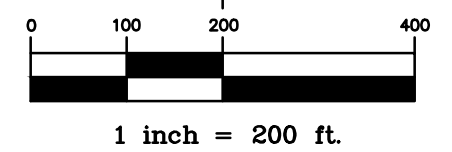
**COVER SHEET**  
COVER SHEET INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4,  
SECTION 20, T14N-R4W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:				
SUBMITTAL TO TWP PLANNING COM. 5-30-17				
JOB NUMBER: 1704-062	SCALE: N/A	DESIGNED BY: WRE/TELB	CHECKED BY: TELB	
DRAWN BY: WRE/TELB	SHEET NUMBER: 1 OF 11			

S05'W 71.37' FND. 20d NAIL IN 7" TREE  
N05'E 44.20' FND. N&T IN POWER POLE  
N80'E 154.30' FND. N&T IN POWER POLE  
S45'W 66.79' FND. 20d NAIL IN 4" ASH

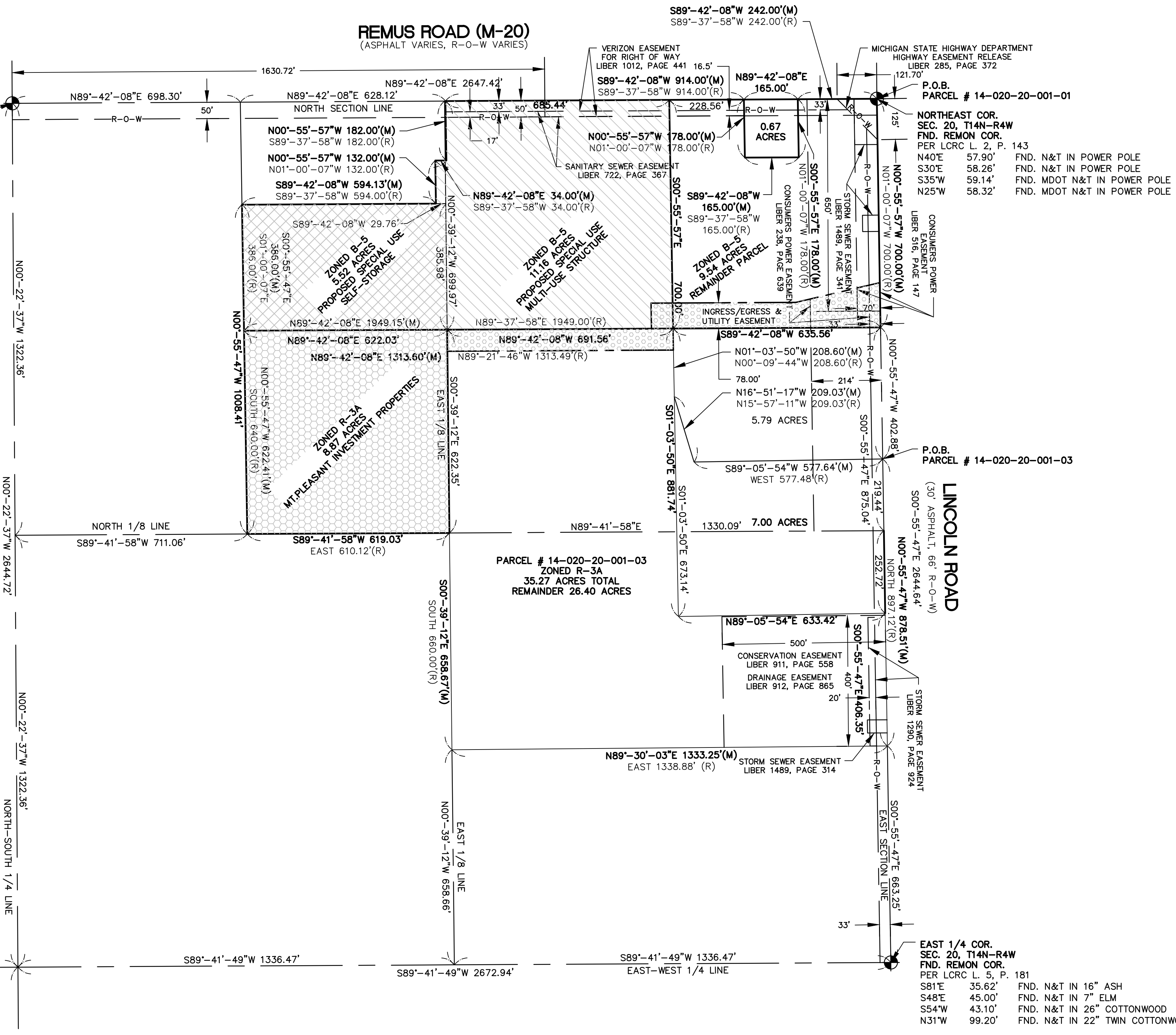
WEST 1/4 COR.  
SEC. 20, T14N-R4W  
FND. REMON COR.  
PER LORC L. 5, P. 87  
N05'W 5.88' FND. N&T IN 30" OAK  
N75'E 31.40' FND. N&T IN 10" MAPLE  
N60'W 28.79' FND. N&T IN 8" OAK  
S25'W 25.05' FND. N&T IN DEAD 12" OAK

SOUTH 1/4 COR.  
SEC. 20, T14N-R4W  
FND. REMON COR.  
PER LORC L. 3, P. 249  
N29'E 34.58' FND. PK IN POWER POLE  
N69'E 141.47' FND. CONC. MONUMENT  
S20'E 52.75' FND. PK IN POWER POLE  
S70'W 147.58' FND. N&T IN POWER POLE  
N05'W 30.91' S. FACE S. END POST OF CHAIN LINK FENCE



### REMUS ROAD (M-20)

(ASPHALT VARIES, R-O-W VARIES)



NOTE:  
BEARING BASIS PER GEODETIC  
OBSERVATION WGS-84 THE BEARING  
BETWEEN THE NORTH 1/4 CORNER AND  
THE NORTHEAST CORNER WAS  
DETERMINED TO BE N89°-42'-08"E

DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 17-11500)

TOWNSHIP OF UNION, COUNTY OF ISABELLA, STATE OF MICHIGAN.  
PART OF THE NORTH 700.00 FEET OF THE EAST 1949.00 FEET OF SECTION 20, T.14 N.-R.4 W., DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-37'-58"W, ALONG THE NORTH SECTION LINE, 242.00 FEET; THENCE S.01°-00'-07"E, PARALLEL TO THE EAST SECTION LINE, 178.00 FEET; THENCE S.89°-37'-58"W, 165.00 FEET; THENCE S.89°-37'-58"W, 165.00 FEET; THENCE N.01°-00'-07"W, 178.00 FEET TO THE NORTH SECTION LINE; THENCE S.89°-37'-58"W, ALONG SAID NORTH SECTION LINE, 914.00 FEET; THENCE S.01°-00'-07"E, 182.00 FEET; THENCE S.89°-37'-58"W, 34.00 FEET; THENCE S.01°-00'-07"E, 132.00 FEET; THENCE S.89°-37'-58"W, 594.00 FEET; THENCE S.01°-00'-07"E, 386.00 FEET; THENCE N.89°-37'-58"E, 1949.00 FEET TO THE EAST SECTION LINE; THENCE N.01°-00'-07"W, ALONG SAID EAST SECTION LINE, 700.00 FEET BACK TO THE PLACE OF BEGINNING.

DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 17-11499)

TOWNSHIP OF UNION, COUNTY OF ISABELLA, STATE OF MICHIGAN.  
COMMENCING 1102.88 FEET SOUTH OF THE NORTHEAST CORNER OF SECTION 20, T.14 N.-R.4 W., THENCE WEST 577.48 FEET; THENCE N.15°-57'-11"W, 209.03 FEET; THENCE N.00°-09'-44"W, 208.60 FEET; THENCE N.89°-21'-46"W, 1313.48 FEET; THENCE SOUTH, 640.00 FEET; THENCE EAST, 610.12 FEET; THENCE SOUTH, 660.00 FEET; THENCE EAST, 1338.88 FEET; THENCE NORTH, 897.12 FEET TO THE POINT OF BEGINNING.

DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 434271)

THE WEST 165.00 FEET OF THE EAST 407 FEET OF THE NORTH 178 FEET OF THE NORTHEAST 1/4 OF SECTION 20, T.14 N.-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.  
AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N.-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-37'-58"W, ON AND ALONG THE NORTH LINE OF SAID SECTION, 242.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.01°-00'-07"E, PARALLEL WITH THE EAST LINE OF SAID SECTION, 178.00 FEET; THENCE S.89°-37'-58"W, PARALLEL WITH SAID NORTH SECTION LINE, 165.00 FEET; THENCE N.01°-00'-07"W, PARALLEL WITH SAID EAST SECTION LINE, 165.00 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 0.674 ACRES OF LAND.

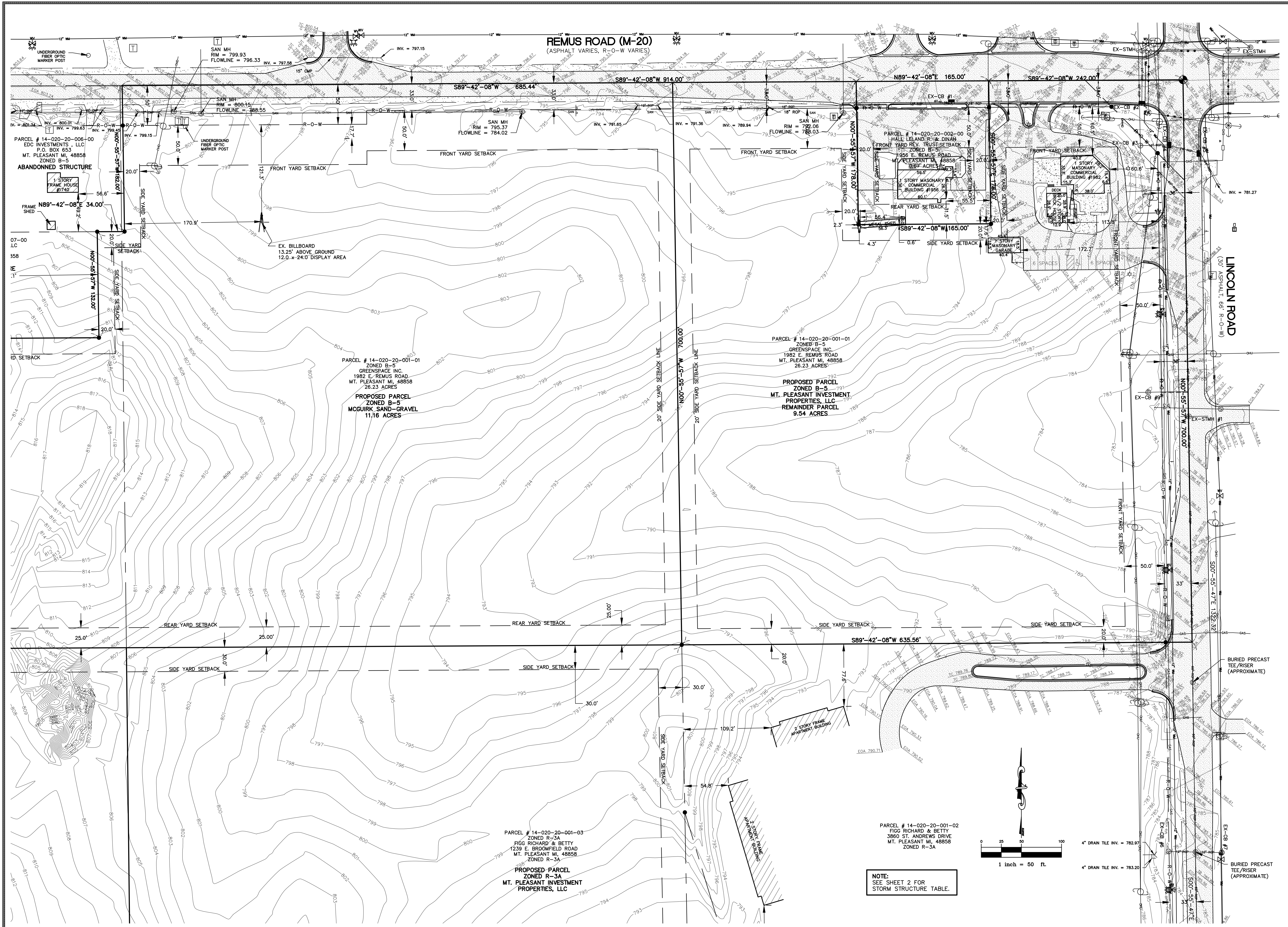
EXISTING STRUCTURE TABLE	
EX--STM #1	RIM = 786.71 FLOWLINE N-S 767.26 60" RCP INV. E. 781.90 12" RCP INV. N. 781.93 30" RCP
EX--STM #2	RIM = 777.59 FLOWLINE N-S 767.59 60" RCP INV. E. 771.89 12" RCP INV. W. 771.89 12" RCP
EX--CB #1	RIM 789.42 INV. E. 785.23 18" RCP INV. W. 785.15 18" RCP INV. NW. 786.25 6" N-12
EX--CB #2	RIM 787.26 INV. N. 781.26 24" RCP INV. S. 780.51 30" RCP INV. W. 781.91 18" RCP
EX--CB #3	RIM 785.41 FLOWLINE N-S 768.91 60" RCP INV. E. 779.76 12" RCP INV. N. 778.71 30" RCP
EX--CB #4	RIM 786.78 INV. ESE. 781.28 24" RCP INV. W. 781.08 12" RCP
EX--CB #5	RIM 786.82 INV. SE. 781.33 24" RCP INV. WNW. 781.27 24" RCP
EX--CB #6	RIM 782.35 INV. E. 775.50 12" RCP
EX--CB #7	RIM 782.51 INV. W. 779.11 12" RCP
EX--CB #8	RIM 774.73 INV. E. 768.28 18" RCP INV. W. 768± 15" RCP
EX--CB #9	RIM 774.05 FLOW LINE E-W 761.6 36" RCP

SCHEDULE B - SECTION 2 EXCEPTIONS TITLE COMMITMENT	
17-11499(a) & 17-11500(b) & 434271(c).	
13(a)	EASEMENT AS SET FORTH IN LIBER 1298, PAGE 924, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
13(b)	PERMANENT EASEMENT AS SET FORTH IN LIBER 1489, PAGE 341, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
13(c)	RIGHT OF WAY FOR CONSUMERS POWER COMPANY OVER PART OF CAPTIONED LAND DATED MAY 2, 1949 AND RECORDED DECEMBER 21, 1949 IN LIBER 238, PAGE 639. AS SHOWN ON SURVEY.
14(a)	PERMANENT EASEMENT AS SET FORTH IN LIBER 1489, PAGE 314, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
14(b)	EASEMENT FOR TIGHT-OF-WAY AS SET FORTH IN LIBER 1012, PAGE 441, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
14(c)	EASEMENT GRANTED TO THE STATE OF MICHIGAN OVER PART OF CAPTIONED LAND DATED AUGUST 9, 1944 AND RECORDED AUGUST 29, 1944 IN LIBER 265, PAGE 372. AS SHOWN ON SURVEY.
15(a)	RECIPROCAL USE AGREEMENT AS SET FORTH IN LIBER 912, PAGE 870 ISABELLA COUNTY RECORDS. NOT SHOWN ON SURVEY, DOES NOT AFFECT THE SUBJECT PROPERTY.
15(b)	EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWERS AS SET FORTH IN LIBER 722, PAGE 367, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
16(a)	EASEMENT AS SET FORTH IN LIBER 912, PAGE 865, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
16(b)	EASEMENT AND RIGHT OF WAY IN FAVOR OF CONSUMERS ENERGY, AS SET FORTH IN LIBER 870, PAGE 953, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 862, PAGE 264, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 516, PAGE 147, AS SHOWN ON SURVEY. AND IN LIBER 185, PAGE 396, EASEMENT RELEASED IN DOCUMENTS RECORDED IN LIBER 870, PAGE 953 AND LIBER 862, PAGE 264, NOT SHOWN ON SURVEY.
17(a)	CONSERVATION EASEMENT AS SET FORTH IN LIBER 911, PAGE 558, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
17(b)	HIGHWAY EASEMENT RELEASE GRANTED TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES, AS SET FORTH IN LIBER 265, PAGE 372. AS SHOWN ON SURVEY.
18(a)	EASEMENT FOR INGRESS AND EGRESS AS SET FORTH IN LIBER 909, PAGE 332, ISABELLA COUNTY RECORDS. NOT SHOWN ON SURVEY, DOES NOT AFFECT SUBJECT PROPERTY.
19(A)	EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWERS AS SET FORTH IN LIBER 722, PAGE 367, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
20(a)	EASEMENT AND RIGHT OF WAY IN FAVOR OF CONSUMERS ENERGY, AS SET FORTH IN LIBER 870, PAGE 953, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 862, PAGE 264, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 516, PAGE 147, AS SHOWN ON SURVEY. AND IN LIBER 185, PAGE 396, EASEMENT RELEASED IN DOCUMENTS RECORDED IN LIBER 870, PAGE 953 AND LIBER 862, PAGE 264, NOT SHOWN ON SURVEY.
21(a)	HIGHWAY EASEMENT RELEASE GRANTED TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES, AS SET FORTH IN LIBER 265, PAGE 372. AS SHOWN ON SURVEY.

**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

**BOUNDARY EASEMENT SHEET**  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:	SUBMITTALS:	JOB NUMBER:	SCALE:
	SUBMITTAL TO TWP PLANNING COM. 5-30-17	1704-062	1" = 200'
		DRAWN BY: WRE/TELB	SHEET NUMBER 2 OF 11
		DESIGNED BY: NA	DATE: 11
		CHECKED BY: TELB	



**REMUS ROAD (M-20)**  
(ASPHALT VARIES, R-O-W VARIES)

PARCEL # 14-020-20-006-00  
EDC INVESTMENTS, LLC  
P.O. BOX 653  
MT. PLEASANT MI, 48858  
ZONED B-5  
ABANDONED STRUCTURE

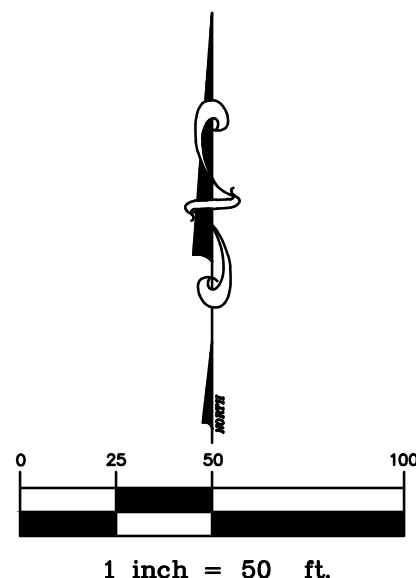
PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES  
  
PROPOSED PARCEL  
ZONED B-5  
MCGUIRK SAND-GRAVEL  
11.16 ACRES

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES  
  
PROPOSED PARCEL  
ZONED B-5  
MT. PLEASANT INVESTMENT  
PROPERTIES, LLC  
REMAINDER PARCEL  
9.54 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A  
  
PROPOSED PARCEL  
ZONED R-3A  
MT. PLEASANT INVESTMENT  
PROPERTIES, LLC

PARCEL # 14-020-20-001-02  
FIGG RICHARD & BETTY  
3860 ST. ANDREWS DRIVE  
MT. PLEASANT MI, 48858  
ZONED R-3A

NOTE:  
SEE SHEET 2 FOR  
STORM STRUCTURE TABLE.



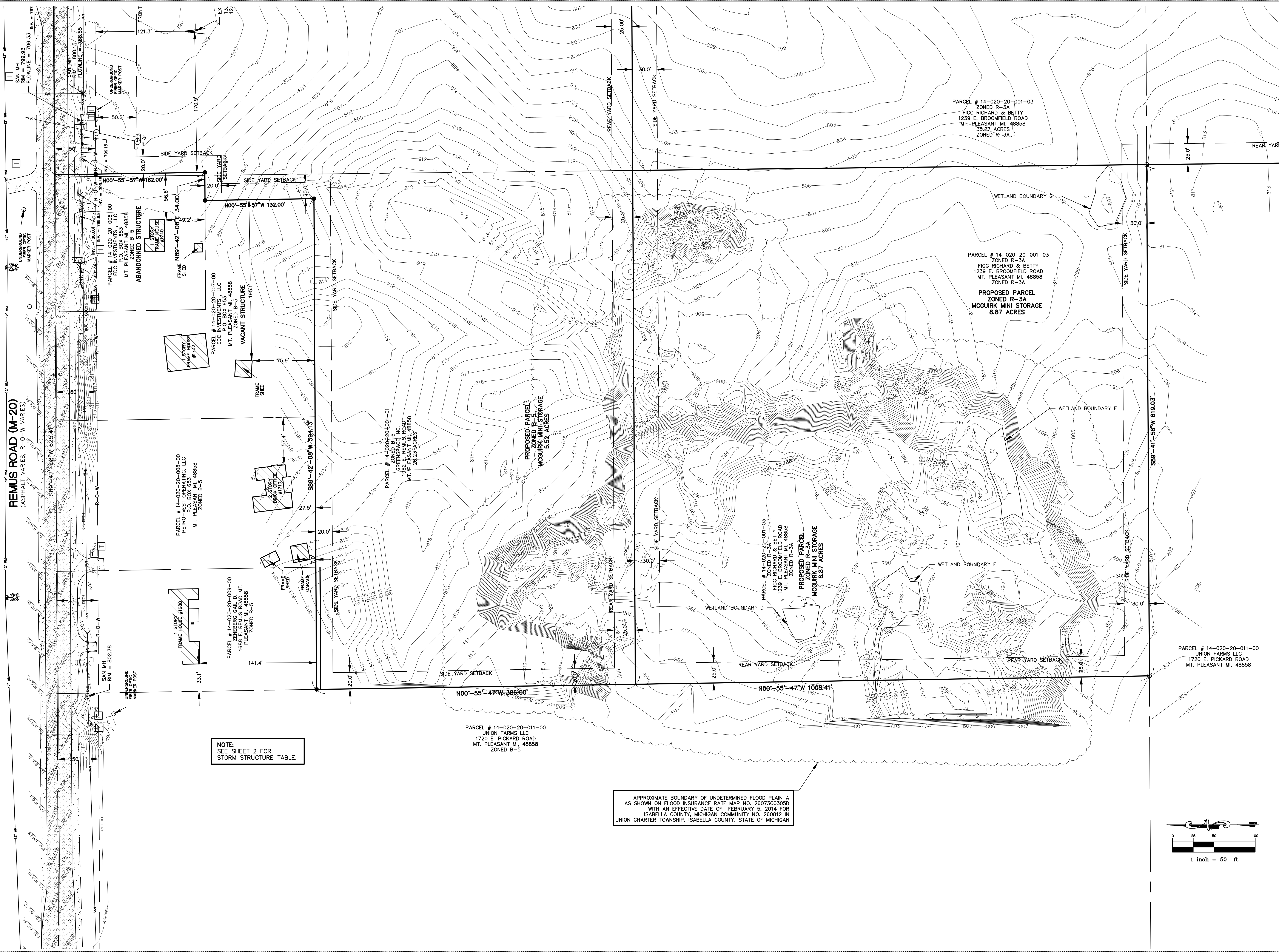
REVISIONS:

SUBMITTALS:  
SUBMITTAL TO TMP PLANNING COM. 5-30-17

JOB NUMBER:  
1704-062  
DRAWN BY:  
WRE/TELB  
DESIGNED BY:  
NA  
CHECKED BY:  
TELB

SCALE  
1" = 50'  
SHEET NUMBER  
3 OF 11

**REMUS ROAD (M-20)**  
(ASPHALT VARIES, R-O-W VARIES)



PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
35.27 ACRES  
ZONED R-3A

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A  
**PROPOSED PARCEL**  
ZONED R-3A  
MCGUIRK MINI STORAGE  
8.87 ACRES

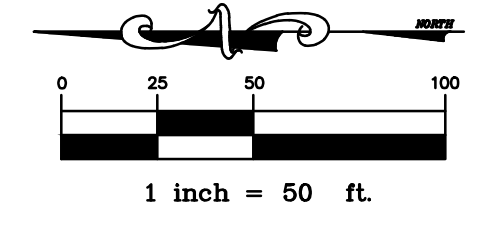
**PROPOSED PARCEL**  
ZONED B-5  
MCGUIRK MINI STORAGE  
5.52 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A  
**PROPOSED PARCEL**  
ZONED R-3A  
MCGUIRK MINI STORAGE  
8.87 ACRES

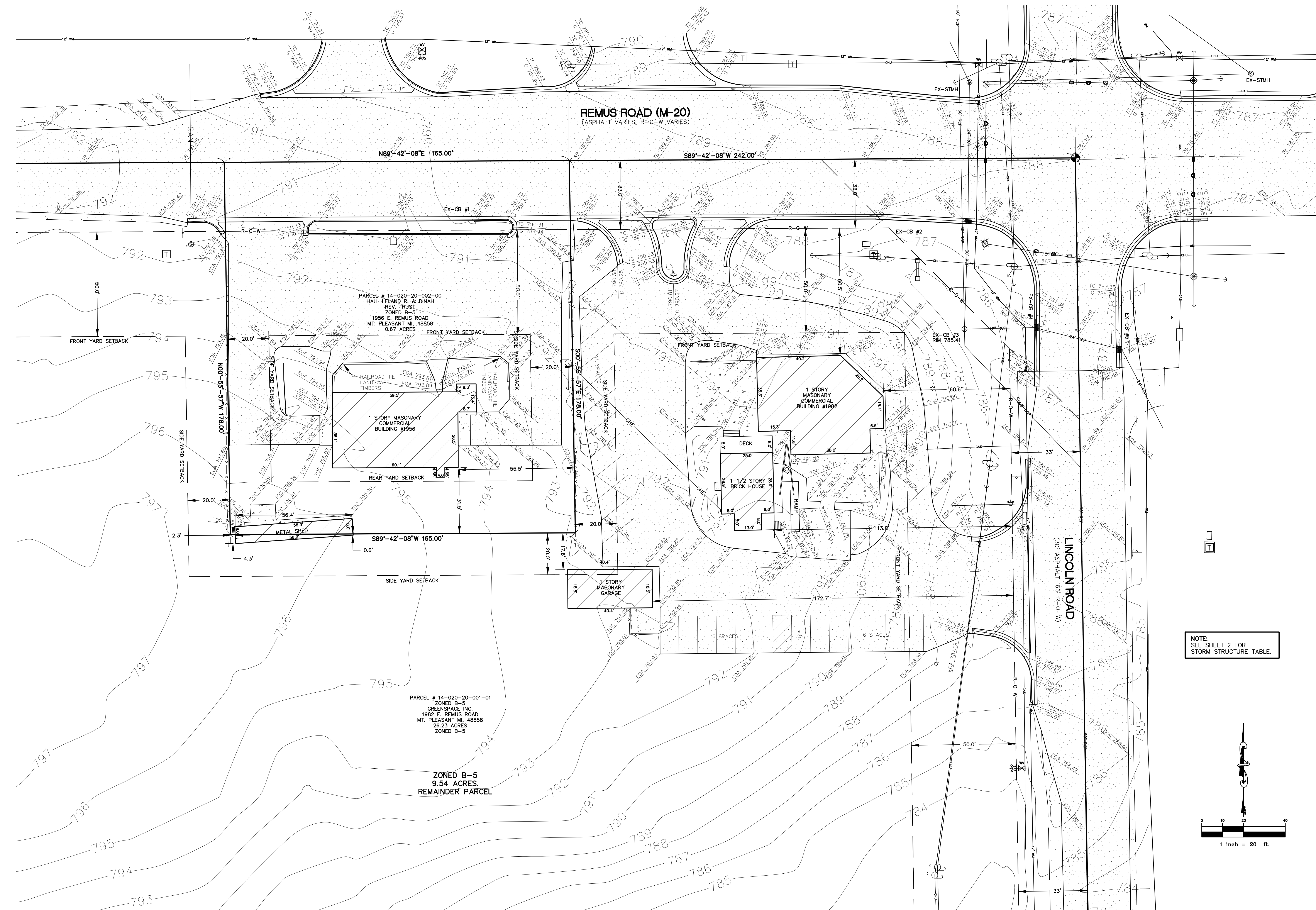
PARCEL # 14-020-20-011-00  
UNION FARMS LLC  
1720 E. PICKARD ROAD  
MT. PLEASANT MI, 48858  
ZONED B-5

**NOTE:**  
SEE SHEET 2 FOR  
STORM STRUCTURE TABLE.

APPROXIMATE BOUNDARY OF UNDETERMINED FLOOD PLAIN A  
AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 26073C03050D  
WITH AN EFFECTIVE DATE OF FEBRUARY 5, 2014 FOR  
ISABELLA COUNTY, MICHIGAN COMMUNITY NO. 260812 IN  
UNION CHARTER TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN



<b>CMS &amp; D</b>	
SURVEYING / ENGINEERING 510 W. PICKARD STREET - SUITE C MT. PLEASANT, MICHIGAN 48858 PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com	
<b>TOPOGRAPHIC SURVEY SHEET 2</b>	
<b>MT. PLEASANT INVESTMENT PROPERTIES, LLC</b>	
PART OF THE NORTHEAST 1/4 SECTION 20, T14N-R4W UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN	
SCALE	1" = 50'
JOB NUMBER:	1704-062
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB
SUBMITTALS:	SUBMITTAL TO TWP PLANNING COM. 5-30-17
REVISIONS:	



**REMUS ROAD (M-20)**  
(ASPHALT VARIES, R=0-W VARIES)

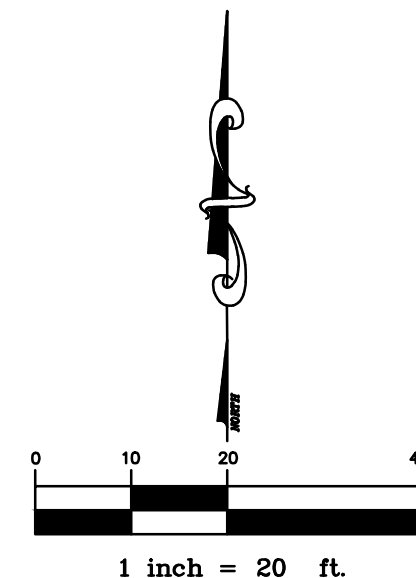
**LINCOLN ROAD**  
(30' ASPHALT, 68' R-O-W)

PARCEL # 14-020-20-002-00  
HALL LELAND R. & DINAH  
REV. TRUST  
ZONED B-5  
1956 E. REMUS ROAD  
MT. PLEASANT MI. 48858  
0.67 ACRES

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI. 48858  
26.23 ACRES  
ZONED B-5

**ZONED B-5**  
9.54 ACRES.  
REMAINDER PARCEL

NOTE:  
SEE SHEET 2 FOR  
STORM STRUCTURE TABLE.



**CMS & D**  
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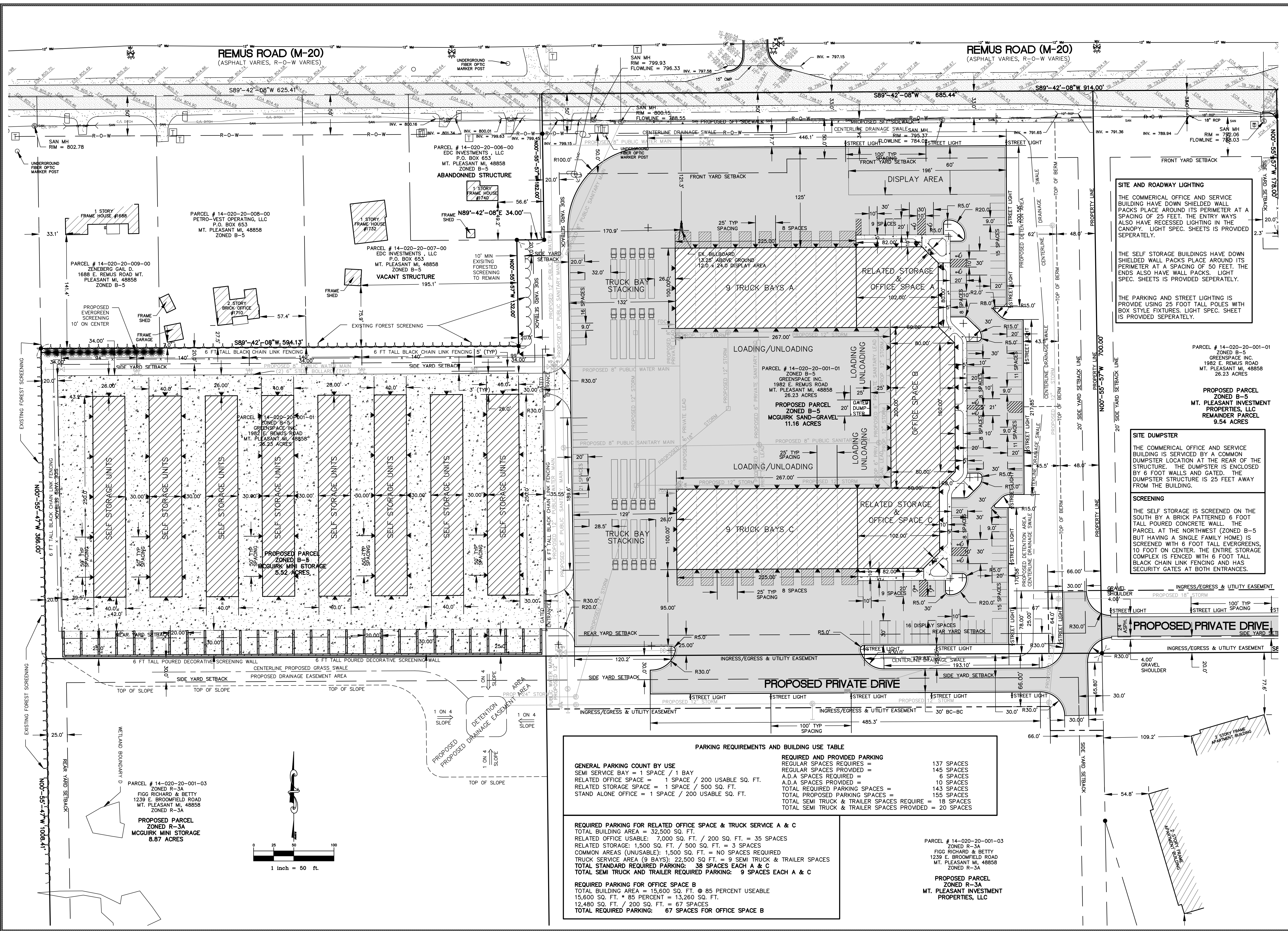
**TOPOGRAPHIC SURVEY DETAIL SHEET**  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:  
SUBMITTAL TO TWP PLANNING COM. 5-30-17

JOB NUMBER:  
1704-062  
DRAWN BY:  
WRE/TELB  
DESIGNED BY:  
NA  
CHECKED BY:  
TELB

SCALE:  
1" = 20'  
SHEET NUMBER:  
5 of 11



**SITE AND ROADWAY LIGHTING**

THE COMMERCIAL OFFICE AND SERVICE BUILDING HAVE DOWN SHIELDED WALL PACKS PLACE AROUND ITS PERIMETER AT A SPACING OF 25 FEET. THE ENTRY WAYS ALSO HAVE RECESSED LIGHTING IN THE CANOPY. LIGHT SPEC. SHEETS IS PROVIDED SEPARATELY.

THE SELF STORAGE BUILDINGS HAVE DOWN SHIELDED WALL PACKS PLACE AROUND ITS PERIMETER AT A SPACING OF 50 FEET. THE ENDS ALSO HAVE WALL PACKS. LIGHT SPEC. SHEETS IS PROVIDED SEPARATELY.

THE PARKING AND STREET LIGHTING IS PROVIDED USING 25 FOOT TALL POLES WITH BOX STYLE FIXTURES. LIGHT SPEC. SHEET IS PROVIDED SEPARATELY.

**SITE DUMPSTER**

THE COMMERCIAL OFFICE AND SERVICE BUILDING IS SERVICED BY A COMMON DUMPSTER LOCATION AT THE REAR OF THE STRUCTURE. THE DUMPSTER IS ENCLOSED BY 6 FOOT WALLS AND GATED. THE DUMPSTER STRUCTURE IS 25 FEET AWAY FROM THE BUILDING.

**SCREENING**

THE SELF STORAGE IS SCREENED ON THE SOUTH BY A BRICK PATTERNED 6 FOOT TALL POURED CONCRETE WALL. THE PARCEL AT THE NORTHWEST (ZONED B-5 BUT HAVING A SINGLE FAMILY HOME) IS SCREENED WITH 6 FOOT TALL EVERGREENS, 10 FOOT ON CENTER. THE ENTIRE STORAGE COMPLEX IS FENCED WITH 6 FOOT TALL BLACK CHAIN LINK FENCING AND HAS SECURITY GATES AT BOTH ENTRANCES.

**PARKING REQUIREMENTS AND BUILDING USE TABLE**

GENERAL PARKING COUNT BY USE	REQUIRED AND PROVIDED PARKING	
SEMI SERVICE BAY = 1 SPACE / 1 BAY	REGULAR SPACES REQUIRED =	137 SPACES
RELATED OFFICE SPACE = 1 SPACE / 200 USABLE SQ. FT.	REGULAR SPACES PROVIDED =	143 SPACES
RELATED STORAGE SPACE = 1 SPACE / 500 SQ. FT.	A.D.A SPACES REQUIRED =	9 SPACES
STAND ALONE OFFICE = 1 SPACE / 200 USABLE SQ. FT.	A.D.A SPACES PROVIDED =	10 SPACES
	TOTAL REQUIRED PARKING SPACES =	143 SPACES
	TOTAL PROPOSED PARKING SPACES =	155 SPACES
	TOTAL SEMI TRUCK & TRAILER SPACES REQUIRE =	18 SPACES
	TOTAL SEMI TRUCK & TRAILER SPACES PROVIDED =	20 SPACES

**REQUIRED PARKING FOR RELATED OFFICE SPACE & TRUCK SERVICE A & C**

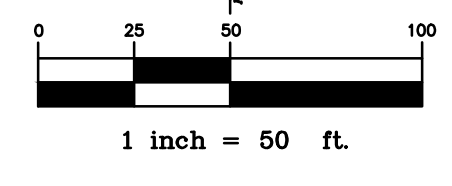
TOTAL BUILDING AREA = 32,500 SQ. FT.  
 RELATED OFFICE USABLE: 7,000 SQ. FT. / 200 SQ. FT. = 35 SPACES  
 RELATED STORAGE: 1,500 SQ. FT. / 500 SQ. FT. = 3 SPACES  
 COMMON AREAS (UNUSABLE): 1,500 SQ. FT. = NO SPACES REQUIRED  
 TRUCK SERVICE AREA (9 BAYS): 22,500 SQ. FT. = 9 SEMI TRUCK & TRAILER SPACES  
 TOTAL STANDARD REQUIRED PARKING: 38 SPACES EACH A & C  
 TOTAL SEMI TRUCK AND TRAILER REQUIRED PARKING: 9 SPACES EACH A & C

**REQUIRED PARKING FOR OFFICE SPACE B**

TOTAL BUILDING AREA = 15,600 SQ. FT. @ 85 PERCENT USEABLE  
 15,600 SQ. FT. \* 85 PERCENT = 13,260 SQ. FT.  
 12,480 SQ. FT. / 200 SQ. FT. = 67 SPACES  
 TOTAL REQUIRED PARKING: 67 SPACES FOR OFFICE SPACE B

PARCEL # 14-020-20-001-03  
 ZONED R-3A  
 FIGG RICHARD & BETTY  
 1239 E. BROOMFIELD ROAD  
 MT. PLEASANT MI, 48858  
 ZONED R-3A

**PROPOSED PARCEL  
 ZONED R-3A  
 MT. PLEASANT INVESTMENT  
 PROPERTIES, LLC**



**CMS & D**  
 SURVEYING / ENGINEERING  
 510 W. PICKARD STREET - SUITE C  
 MT. PLEASANT, MICHIGAN 48858  
 PHONE: (989) 775-0756  
 FAX: (989) 775-5012  
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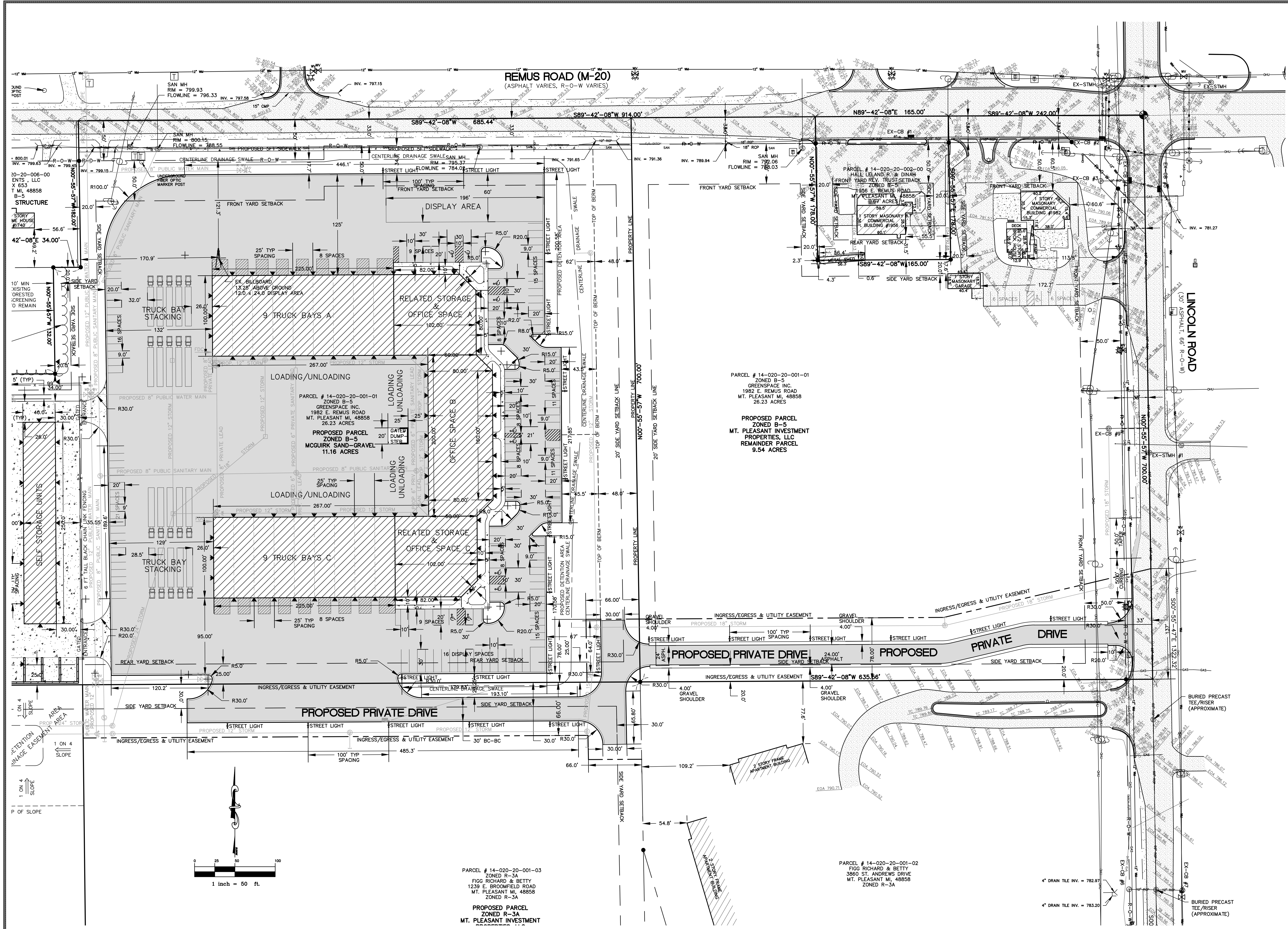
**OVERALL SITE PLAN - WEST**  
 MT. PLEASANT INVESTMENT PROPERTIES, LLC  
 PART OF THE NORTHEAST 1/4  
 SECTION 20, T14N-R4W  
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTAL TO TWP PLANNING COM. 5-30-17

JOB NUMBER: 1704-062  
 DRAWN BY: WRE/TJLB  
 DESIGNED BY: NA  
 CHECKED BY: TELB

SCALE: 1" = 50'  
 SHEET NUMBER: 6 OF 11



REBUS ROAD (M-20)  
(ASPHALT VARIES, R-O-W VARIES)

LINCOLN ROAD  
(30' ASPHALT, 66' R-O-W)

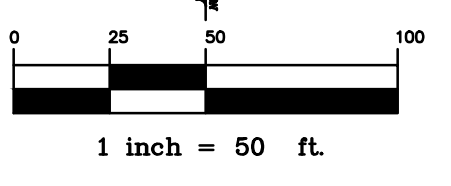
PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

PROPOSED PARCEL  
ZONED B-5  
MT. PLEASANT INVESTMENT  
PROPERTIES, LLC  
REMAINDER PARCEL  
9.54 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A

PROPOSED PARCEL  
ZONED R-3A  
MT. PLEASANT INVESTMENT

PARCEL # 14-020-20-001-02  
FIGG RICHARD & BETTY  
3860 ST. ANDREWS DRIVE  
MT. PLEASANT MI, 48858  
ZONED R-3A



**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com



**OVERALL SITE PLAN - EAST**  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:  
SUBMITTAL TO TWP PLANNING COM. 5-30-17

JOB NUMBER:  
1704-062

DRAWN BY:  
WRE/TELB

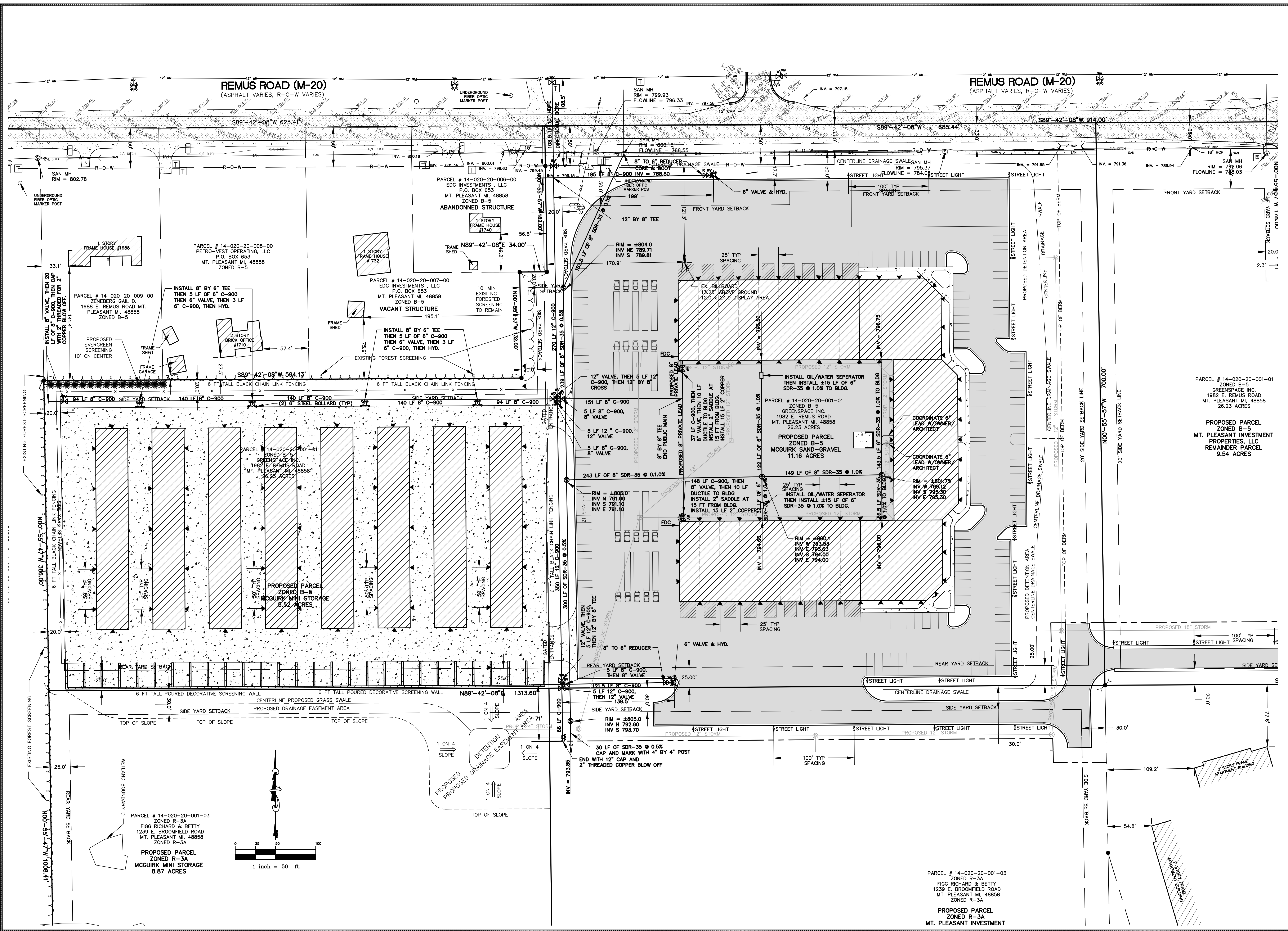
DESIGNED BY:  
NA

CHECKED BY:  
TELB

SCALE  
1" = 50'

SHEET NUMBER  
7 OF 11





**OVERALL UTILITY PLAN - WEST**  
 MT. PLEASANT INVESTMENT PROPERTIES, LLC  
 PART OF THE NORTHEAST 1/4  
 SECTION 20, T14N-R4W  
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:  
 SUBMITTAL TO TWP PLANNING COM. 5-30-17

JOB NUMBER:	1704-062
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB

SCALE  
 1" = 50'  
 SHEET NUMBER  
 8 OF 11

PARCEL # 14-020-20-001-03  
 ZONED R-3A  
 FIGG RICHARD & BETTY  
 1239 E. BROOMFIELD ROAD  
 MT. PLEASANT MI, 48858  
 ZONED R-3A  
 PROPOSED PARCEL  
 ZONED R-3A  
 MT. PLEASANT INVESTMENT

REMUS ROAD (M-20)  
 (ASPHALT VARIES, R-O-W VARIES)

REMUS ROAD (M-20)  
 (ASPHALT VARIES, R-O-W VARIES)

PARCEL # 14-020-20-008-00  
 PETRO-VEST OPERATING, LLC  
 P.O. BOX 653  
 MT. PLEASANT MI, 48858  
 ZONED B-5

PARCEL # 14-020-20-009-00  
 ZENEBERG GAL D  
 1688 E. REMUS ROAD MT.  
 PLEASANT MI, 48858  
 ZONED B-5

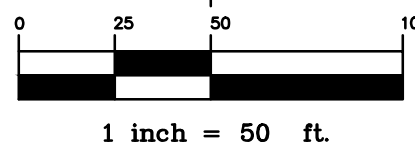
PARCEL # 14-020-20-007-00  
 EDC INVESTMENTS, LLC  
 P.O. BOX 653  
 MT. PLEASANT MI, 48858  
 ZONED B-5

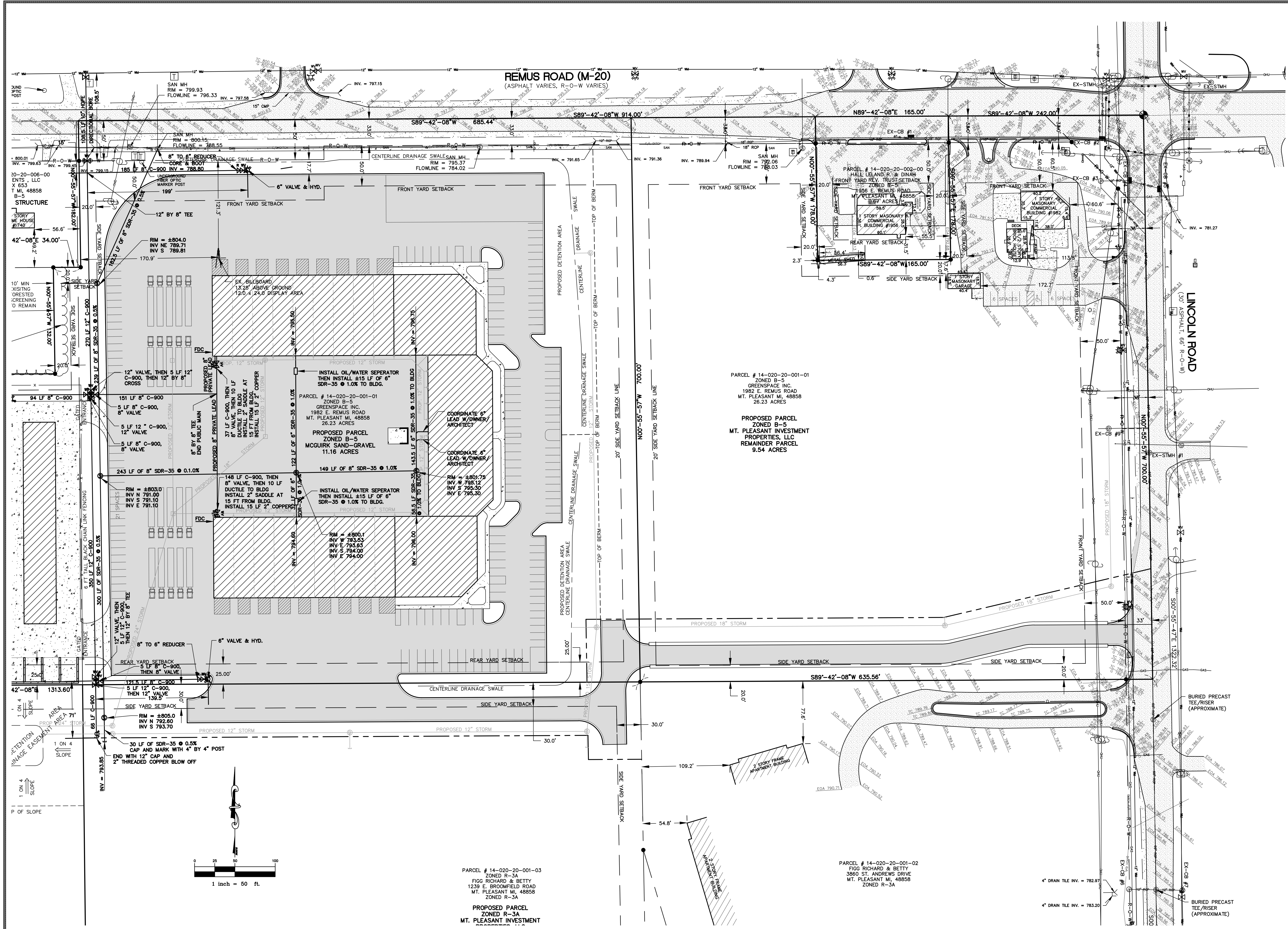
PARCEL # 14-020-20-001-01  
 ZONED B-5  
 GREENSPACE INC.  
 1982 E. REMUS ROAD  
 MT. PLEASANT MI, 48858  
 26.23 ACRES

PARCEL # 14-020-20-001-01  
 ZONED B-5  
 GREENSPACE INC.  
 1982 E. REMUS ROAD  
 MT. PLEASANT MI, 48858  
 26.23 ACRES

PROPOSED PARCEL  
 ZONED B-5  
 MT. PLEASANT INVESTMENT  
 PROPERTIES, LLC  
 REMAINDER PARCEL  
 9.54 ACRES

PARCEL # 14-020-20-001-03  
 ZONED R-3A  
 FIGG RICHARD & BETTY  
 1239 E. BROOMFIELD ROAD  
 MT. PLEASANT MI, 48858  
 ZONED R-3A  
 PROPOSED PARCEL  
 ZONED R-3A  
 MCGUIRK MINI STORAGE  
 8.87 ACRES





REMUS ROAD (M-20)  
(ASPHALT VARIES, R-O-W VARIES)

LINCOLN ROAD  
(30' ASPHALT, 66' R-O-W)

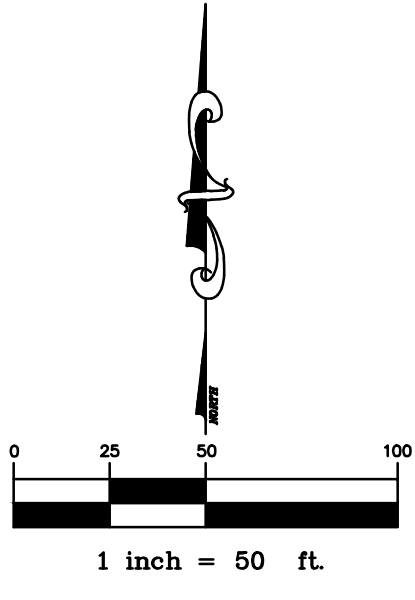
PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

PROPOSED PARCEL  
ZONED B-5  
MT. PLEASANT INVESTMENT  
PROPERTIES, LLC  
REMAINDER PARCEL  
9.54 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A

PROPOSED PARCEL  
ZONED R-3A  
MT. PLEASANT INVESTMENT

PARCEL # 14-020-20-001-02  
FIGG RICHARD & BETTY  
3860 ST. ANDREWS DRIVE  
MT. PLEASANT MI, 48858  
ZONED R-3A



**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

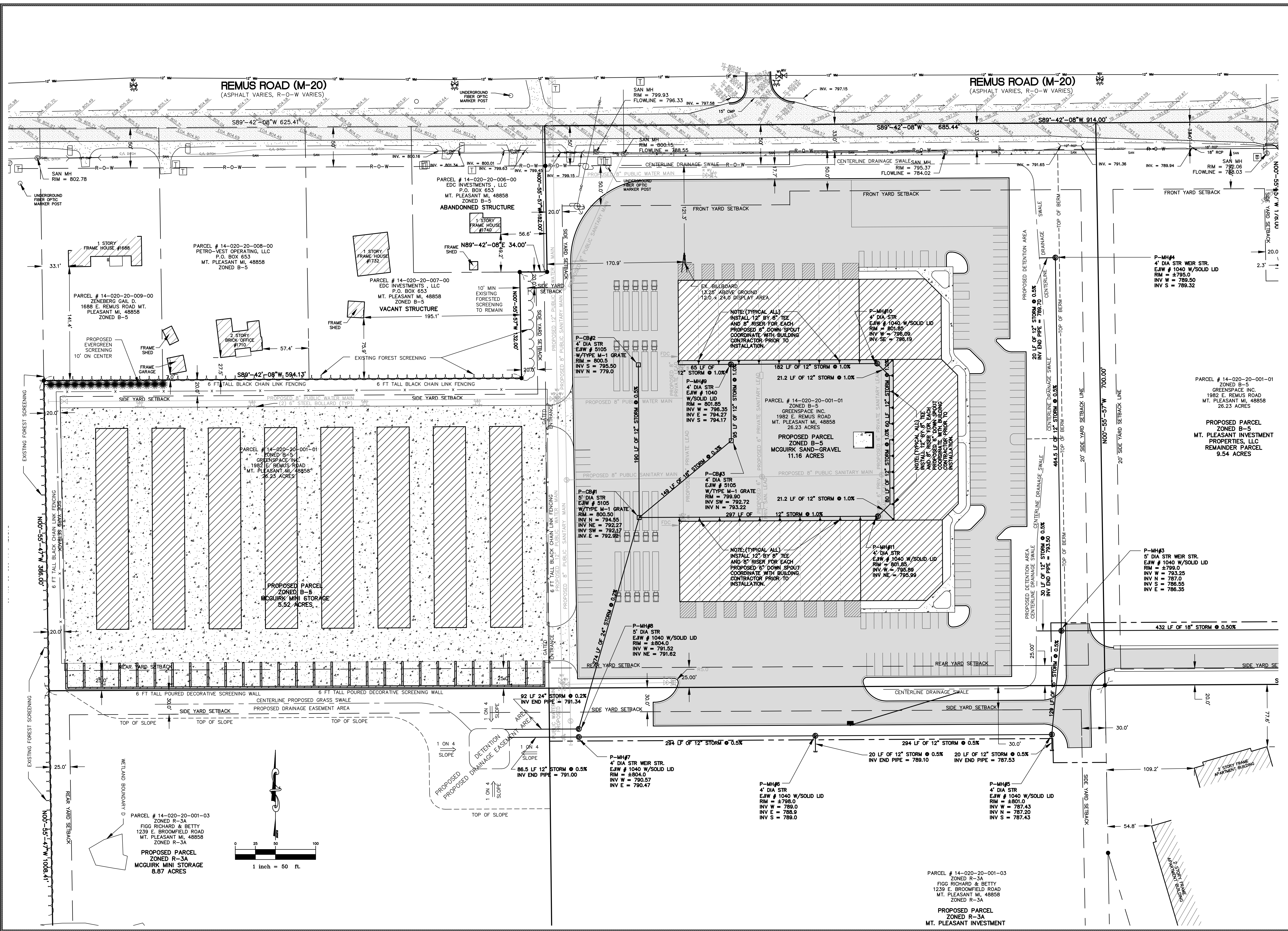


OVERALL UTILITY PLAN - EAST  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:  
SUBMITTAL TO TWP PLANNING COM. 5-30-17

SCALE	1" = 50'
JOB NUMBER:	1704-062
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB
SHEET NUMBER	9 OF 11



REMUS ROAD (M-20)  
(ASPHALT VARIES, R-O-W VARIES)

REMUS ROAD (M-20)  
(ASPHALT VARIES, R-O-W VARIES)

PARCEL # 14-020-20-008-00  
PETRO-VEST OPERATING, LLC  
P.O. BOX 653  
MT. PLEASANT MI, 48858  
ZONED B-5

PARCEL # 14-020-20-007-00  
EDC INVESTMENTS, LLC  
P.O. BOX 653  
MT. PLEASANT MI, 48858  
ZONED B-5

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

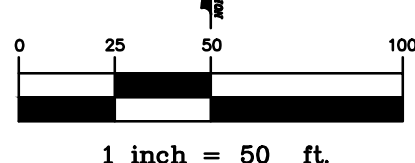
PROPOSED PARCEL  
ZONED B-5  
MT. PLEASANT INVESTMENT  
PROPERTIES, LLC  
REMAINDER PARCEL  
9.54 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A

PROPOSED PARCEL  
ZONED R-3A  
MCGUIRK MINI STORAGE  
8.87 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A

PROPOSED PARCEL  
ZONED R-3A  
MT. PLEASANT INVESTMENT



**CMS & D**  
SURVEYING/ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

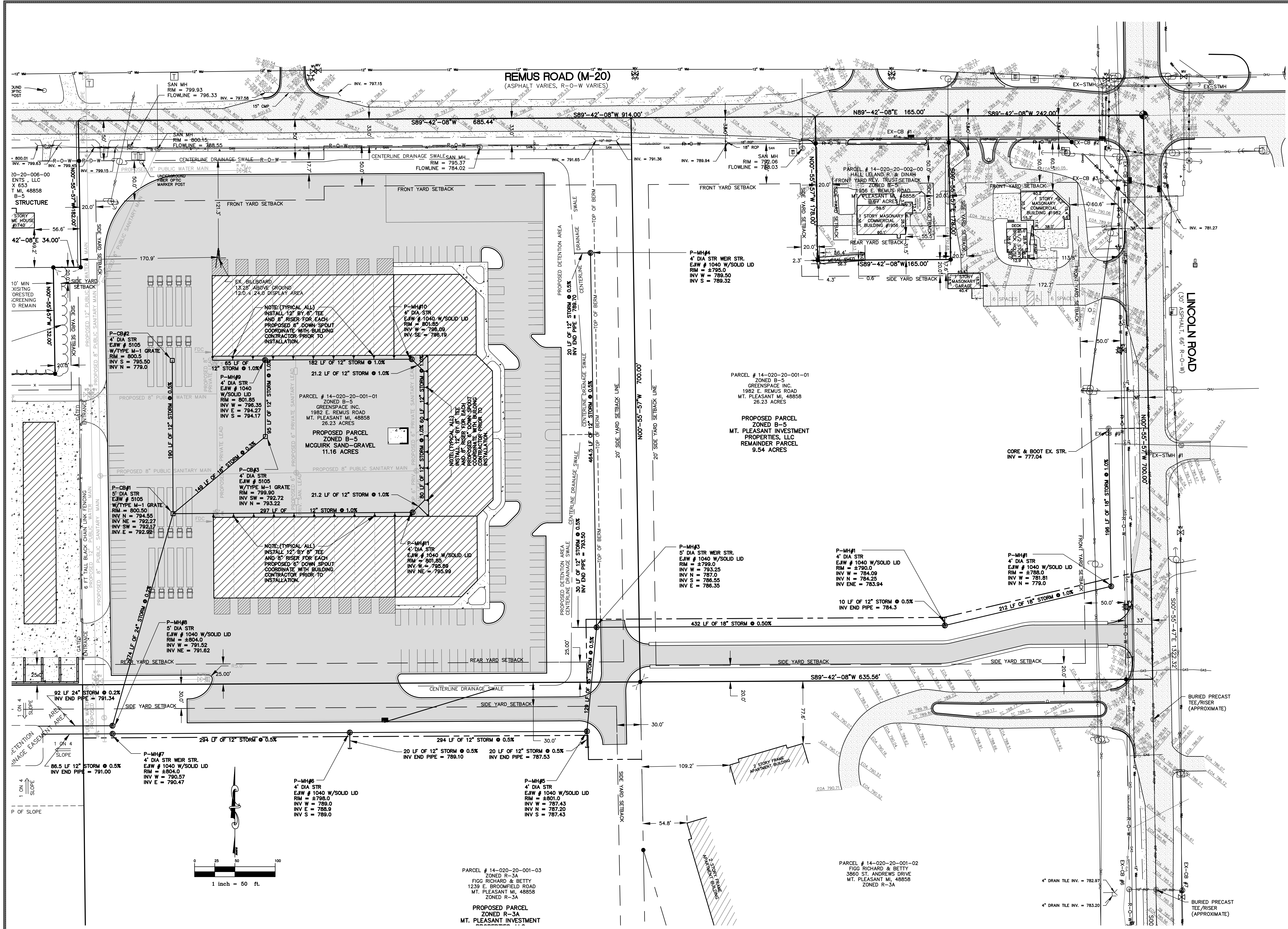


**OVERALL STORM PLAN - WEST**  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:  
SUBMITTAL TO TWP PLANNING COM. 5-30-17

SCALE	1" = 50'
JOB NUMBER:	1704-062
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB
SHEET NUMBER	10 of 11



REVISIONS:

NO.	DESCRIPTION

SUBMITTALS:

JOB NUMBER:	1704-062
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB

SCALE:

1" = 50'	
SHEET NUMBER	11 OF 11

PARCEL # 14-020-20-001-03  
 ZONED R-3A  
 FIGG RICHARD & BETTY  
 1239 E. BROOMFIELD ROAD  
 MT. PLEASANT MI, 48858  
 ZONED R-3A  
 PROPOSED PARCEL  
 ZONED R-3A  
 MT. PLEASANT INVESTMENT

PARCEL # 14-020-20-001-02  
 FIGG RICHARD & BETTY  
 3860 ST. ANDREWS DRIVE  
 MT. PLEASANT MI, 48858  
 ZONED R-3A



Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: C) SUP 2017-05 Self storage buildings 1982 E. Remus Rd.**  
(Public Hearing Required)

**Applicant:** CMS&D Surveying and Engineering

**Owner:** Mt Pleasant Investment Properties LLC (Authorized by current owner Greenspace Inc.)

**Location:** Corner of Independence Dr. and Lincoln Rd. MT PLEASANT, MI 48858

**Current Zoning:** O-S Office Service District

**Adjacent Zoning:** B-5/R-3A to the north across the road, B-5/R-2A to the east, B-5 to the west, R-3A to the south.

**Future Land Use/Intent:** Commercial: Shopping, office and professional services with mixed residential uses.

**Current Use:** Coffee shop currently not in business.

**Reason for Request:** Applicant proposes self storage buildings.

**History:** The proposed location of the self storage buildings is currently vacant. A special use for self storage was applied for by the same applicant different owner of a different property in February of 2017. The planning commission recommended not approving a self storage special use. The Board of Trustees voted to not grant the self storage special use on the in May 2017.

The current owner of the property is Greenspace Inc. Mt Pleasant Investment Properties LLC has been authorized to seek a special use for self storage buildings for the property. A site plan provided by the applicant shows the existing parcel to be split up at a later date. The location of the self storage buildings will be on a parcel owned by McGuirk Mini-Storage.

Special uses require a site plan review approved by the Planning Commission. The applicant has provided a site plan to be reviewed for final approval at the same time as the special use is being considered.

**Objective of board:** Within reasonable time following the public hearing, the Planning Commission shall review the application for the special use permit, testimony received at the public hearing, and other materials submitted in relation to the request and make a recommendation to the Township Board. Please refer to section 30.3.A.1-10 before making a recommendation

**Recommend at this time recommend approval of SUP 2017-05 Self storage buildings on the condition that**

- A final site plan is approved by the Planning Commission in accordance with Sections 10, 12, 23, and 30 of the Zoning Ordinance
- All requirements of sections 10, 12, 23, and 30 of the Zoning Ordinance are adhered to.

**Peter Gallinat**  
Twp Planner

## AFFIDAVIT OF PUBLICATION

48 West Huron Street • Pontiac, MI 48342

CHARTER TOWNSHIP OF UNION  
2010 S Lincoln

Mount Pleasant, MI 48858  
Attention: PETER GALLINAT

STATE OF MICHIGAN,  
COUNTY OF ISABELLA

*Jake Allport*

The undersigned \_\_\_\_\_, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

**UNION TOWNSHIP PUBLIC HEARING NOTICE -SPECIAL USE PERMIT**

NOTICE is hereby given that a Public Hearing will be held on Tuesday, June 20, 2017, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a Special Use Permit, as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by Mt. Pleasant Investments Properties, LLC, a Special Use Permit in a B-5 (Highway Business District) zone for Self-Storage Buildings.

Legal Description of property: T14N R4W, SEC 20: COMM AT THE NE CORNER OF SECTION 20: S 89D37M58S W ALG N SEC LN 242 FT; TH S 1D0M7S E 178 FT; TH S 89D37M58S W 165 FT; TH N 1D0M7S W 178 FT TO N SEC LN; TH S 89D37M58S W 914 FT; TH S 1D0M7S E 182 FT; TH S 89D37M58S W 34 FT; TH S 1D0M7S E 132 FT; TH S 89D37M58S W 594 FT; TH S 1D0M7S E 386 FT; TH N 89D37M58S E 1949 FT TO E SEC LN; TH N 1D0M7S W 700 FT TO POB 26.2 ACRES

This property is located at: 1982 E. REMUS RD MT PLEASANT, MI 48858  
PID 14-020-20-001-01

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,  
Township Planner

Published June 4, 2017

CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun 06/04/17  
morningstarpublishing.com 06/04/17



Sworn to the subscribed before me this 5<sup>th</sup> June 2017

*Tina M Crown*

Notary Public, State of Michigan  
Acting in Oakland County

Advertisement Information

Client Id: 531226

Ad Id: 1351355

PO:

Sales Person: 200300

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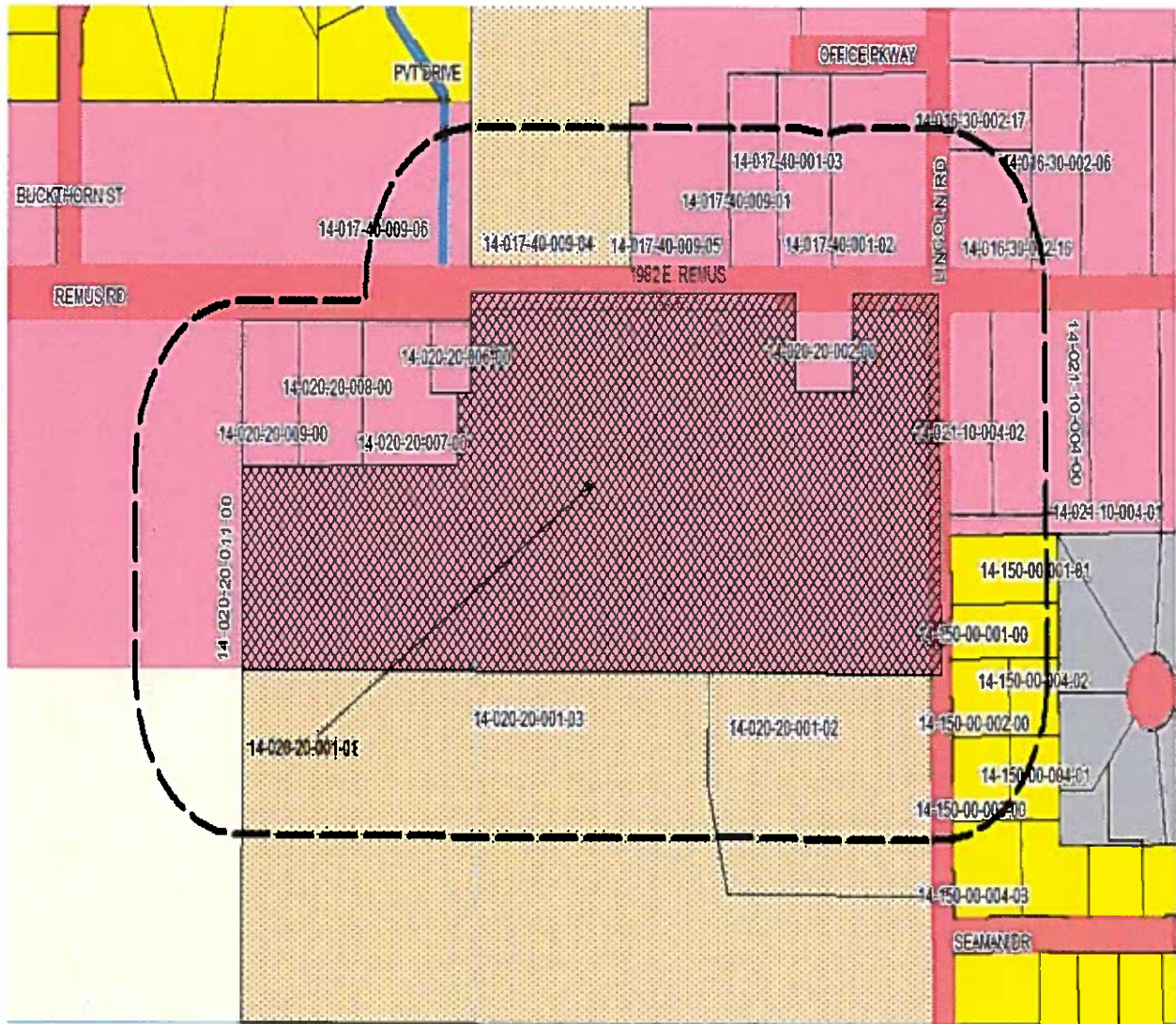
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Peter Gallinat,  
Township Planner





The checkered parcel represents 1982 E. Remus Rd. This parcel is zoned B-5 (Highway Business District). The pink parcels are B-5. The brownish tan colored parcels represent R-3A (Multiple-Family Residential District). The yellow parcels represent R-2A (One and Two Family Low Density Residential District). The off yellow parcel represents R-1 (Rural Residential District). The grey parcels represent I-1 (Light Industrial District). The dashed line around the subject property represents a 300 foot radius around 1982 E. Remus Rd.

MCGUIRK MINI STORAGE INC  
PO BOX 530  
MT PLEASANT, MI 48804-0530

GREENSPACE INC  
1982 E. REMUS RD.  
MT PLEASANT, MI 48858

UNION FARMS LLC  
1720 E. PICKARD RD.  
MT PLEASANT, MI 48858

FIGG RICHARD & BETTY  
1239 E. BROOMFIELD RD.  
MT PLEASANT, MI 48858

FIGG RICHARD & BETTY  
ARBORETUM APARTMENTS  
6860 ST. ADREWS DR.  
MT PLEASANT, MI 48858

SWINDLEHURST RICHARD  
700 N. ISABELLA  
MT PLEASANT, MI 48858

WIECZOREK STEVEN M.  
767 S. DOE TRL  
MT PLEASANT, MI 48858

UTTERBACK CURT J & ROBYN L  
3397 S. LINCOLN RD.  
MT PLEASANT, MI 48858

ISABELLA COMMUNITY CREDIT  
UNION  
P.O. BOX 427  
2100 E. REMUS RD.  
MT PLEASANT, MI 48804-0427

BRENDA ROBINSON, TRUSTEE  
2970 GRANDE OAKS WAY  
ORANGE PARK, FL 30003

MID MICHIGAN PROPERTY GROUP  
2060 REMUS RD.  
MT PLEASANT, MI 48858

SCOTLAND LEASING CORP  
114 GRANT  
ALMA, MI 48801

RI CS4 LLC  
ATTN: PM DEPT #2500  
11995 EL CAMINO REAL  
SAN DIEGO, CA 92130

RYANS INVESTMENTS LLC  
P.O. BOX 753  
MT PLEASANT, MI 48804-0753

MCDONALDS CORPORATION (21-  
1306)  
P.O. BOX 182571  
COLUMBUS, OH 43218-2571

MERCANTILE BANK  
102 S. MAIN ST.  
MT PLEASANT, MI 48858

TWENTY WEST PARTNERSHIP INC.  
P.O. BOX 329  
MOUNT PLEASANT, MI 48804-0329

VICTORY CHRISTIAN CENTER  
2445 S. LINCOLN RD.  
MT PLEASANT, MI 48858

MASS, MT. PLEASANT LLC  
1845 BIRMINGHAM SE  
LOWELL, MI 49331

ZENEBERG GAIL D  
1688 E. REMUS  
MT PLEASANT, MI 48858

PETRO-VEST OPERATING LLC  
P.O. BOX 653  
MT PLEASANT, MI 48804-0653

EDC INVESTMENTS, LLC  
P.O. BOX 653  
MT PLEASANT, MI 48804-0653

HALL LELAND R & DINAH REV TRUST  
TINK SALES & SERVICES INC.  
1302 E HIGH ST.  
MT PLEASANT, MI 48858

**APPLICATION FOR A SPECIAL USE PERMIT**

I (we) MT. PLEASANT INVESTMENTS PROPERTIES, LLC. OWNERS OF PROPERTY AT  
14-020-20-001-01 LEGAL DESCRIPTION AS FOLLOWS:

SEE ATTACHED SHEET

Respectfully request that a determination be made by the Township Board on the following request:

I. Special Use For SELF STORAGE BUILDINGS

II. Junk Yard Permit



Note: Use one of the sections below as appropriate. If space provided is inadequate, use a separate sheet.

I. Special Use Permit is requested for SELF STORAGE BUILDINGS

Give reason why you feel permit should be granted: SEE ATTACHED SHEET

II. Junk Yard Permit requirements are:

Location of property to be used \_\_\_\_\_

Zoning of the area involved is B5

Zoning of the abutting areas R3A



Fees \_\_\_\_\_ Signature of Applicant [Signature]

Date 5/30/17 Joseph Blumnot, AUTHORIZED AGENT



**PROPOSED SPECIAL USE  
FOR  
SELF STORAGE STRUCTURES**

**LEGAL DESCRIPTION OF THE PROPOSED B-5 DEVELOPMENT PARCEL:**

A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-55'-57"E., PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 1313.60 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 386.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 594.13 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 132.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 34.00 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 182.00 FEET TO A POINT ON SAID NORTH SECTION LINE, THENCE N.89°-42'-08"E., ON AND ALONG SAID NORTH SECTION LINE, 685.44 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 16.68 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

**LEGAL DESCRIPTION FOR PROPOSED SPECIAL USE:**

A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.00°-55'-57"E., ON AND ALONG THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH THE NORTH LINE OF SAID SECTION, 1327.12 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING S.89°-42'-08"W., 622.03 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 386.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 623.89 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION; THENCE S.00°-39'-12"E., ON AND ALONG SAID EAST 1/8 LINE, 385.98 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 5.52 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

**Summary of Request**

Based on our review of the Ordinance, Self Storage Units are a Special Use within the B-5 District. Based on previous submittal to the Township for this use, we have utilized a secluded area of the B-5 zoned property to place this use. It will be approximately 300 feet off Rmus Road and tucked in behind other B-5 Zoned property. The parcel is approximately 5.5 acres in size and will house 80,000 square feet of storage units, when fully developed. The parcel will be developed starting at the East and working West as the market dictates.

Please consider the following self storage use.

**Give Reason why you feel permit should be granted:**

1. The special use shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property and the surrounding area.

*The proposed development sets on the South side Remus Road (M-20) in a commercial area, but has been tucked back off the road by approximately 300 feet. There are 4 Commercially Zoned parcel between the development and M-20.*

*We feel that we have designed the overall site layout and the proposed buildings to be an asset to the surrounding commercial properties. We have met with the Road Commission and MDOT Engineers to assure that the access to the site was appropriate for the intended use. All drive isles are larger that those required by the ordinance.*

*Where adjacent to a R-3A Multi-Family parcel to the South, a 6 foot tall decorative concrete wall is being proposed.*

2. The special use shall not change the essential character of the surrounding area.

*The type of business and use which is being proposed is consistent with others along Remus (M-20). It should be noted that there is another self storage facility just East at the corner of Remus and Bradley Street. The parcel is also zoned B-5.*

3. The special use shall not interfere with the general enjoyment of adjacent property.

*The adjacent properties to the North, West and East are either zoned commercial and/or zoned and operated as commercial or are zoned as multi-family. The vacant zoned multi-family property to the South will be separated from the development by a decorative concrete wall. It should also be noted that this parcel is part of the lands being proposed for purchase by Mt. Pleasant Investment Properties.*

4. The special use shall not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes, or glare.

*Based on our discussions with MDOT their preferred point of access for the parcel was out to Lincoln Road. Based on this, a Private Roadway has been shown to extend from the development East to Lincoln Road. This Roadway has been slide to the South as far as possible to allow more distance to the traffic light at Lincoln and Remus, while still abiding by the Isabella County Road Commissions Access Management Design Criteria. Appropriate screening has been shown around the parcel and a black chain link fence will surround the parcel to provide security along with security camera. The complex will have gated access points. The proposed operations will not pose a health, safety of welfare problem.*

5. The special use shall be adequately served by essential public facilities and services; or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequate services and facilities deemed essential to the special use under consideration. The said facilities or services shall be approved by the Central Michigan District Health Department.

*The proposed development will be extending Public Water and its own Private Storm Sewer Services. Fire Flows were completed by the Township DPW in conjunction with the Mt. Pleasant Fire Department on the Water System to assure that there was adequate flow and pressure for the system. The newly installed County Drain along Lincoln Road also has capacity for the propose private system.*

6. When deemed necessary by the Township Board or Planning Commission, the use shall be adequately screened by distance and landscaping to protect the rights of all adjoining property.

*We believe that we have addressed the screening of the project with a combination of natural screening, plantings and a decorative concrete wall.*

7. The Township Board or Planning Commission, in connection with approval of any application, may require reasonable undertaking by the applicant to guarantee and assure by agreement, including a performance bond to be posted by the applicant or by some other reasonable surety arrangement at appropriate stages of the planned development, that the development will be executed in accordance with the approved plan.

*The proposed development, if approved will be constructed in compliance with the approved plans. The township has the ability to withhold final occupancy should this not occur.*

8. That such use will be an asset to the Township.

*The proposed development constitutes a multi-million dollar investment into the community. The renders show that the development will be an asset to the community and the surrounding area. This is a needed commodity for this community and based on the current demand at other facilities, the project will commence at the East and expand Westerly as the need requires.*

**Mt Pleasant Investment Properties LLC**

May 25, 2017

Charter Township of Union  
2010 S. Lincoln  
Mt. Pleasant, MI 48858

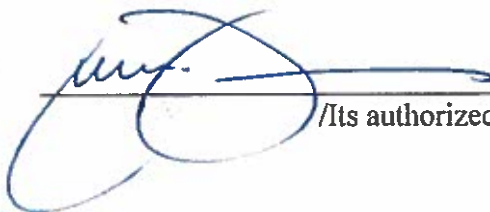
Re: Authorized Agent

To whom it may concern,

Mt. Pleasant Investment Properties, LLC has authority to pursue zoning or land use approvals including but not limited to, site plan reviews or special use permits from the title holders of certain properties pursuant to purchase agreements with those owners. Those properties include: parcel ID 14-020-20-001-03, 14-020-20-002-00, and 14-020-20-001-01. Mt. Pleasant Investment Properties, LLC therefore authorizes CMS&D to act on behalf, as its agent, to seek such land use approvals.

Regards,

Mt. Pleasant Investment Properties, LLC

  
\_\_\_\_\_  
/Its authorized Agent



R. EDWARD KUHN  
TERRY C. ROGERS  
*(LLM, Taxation)*  
A. BROOKS DARLING  
EDGAR ROY III  
JOSEPH E. QUANDT  
GREGORY J. DONAHUE  
GREGORY L. JENKINS

412 SOUTH UNION STREET  
TRAVERSE CITY, MICHIGAN 49684  
TELEPHONE: 231-947-7900  
FAX: 231-941-5154

LANSING OFFICE:  
2937 ATRIUM DRIVE, SUITE 200  
OKEMOS, MICHIGAN 48864  
TELEPHONE: 517-347-7720

TROY W. STEWART  
GINA A. BOZZER  
MATTHEW L. BOYD  
CHRISTOPHER G. ROGERS  
*(also admitted in Illinois)*  
MARC S. McKELLAR II

OF COUNSEL:  
LEWIS G. GATCH

June 15, 2017

**FACSIMILE COVER SHEET**

Please deliver the following pages to:

Name: Peter Gallinat  
Fax No.: 989-773-1988  
RE: Mt. Pleasant Investment Properties, LLC  
From: Joe Quandt

Total number of pages (including cover sheet):

Our File No.

Message:

**THE INFORMATION CONTAINED IN THIS FACSIMILE TRANSMISSION IS  
ATTORNEY-CLIENT PRIVILEGED AND CONFIDENTIAL**

It is intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution, or copy of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone, collect, and return the original message to us at the above address via the U.S. Postal Service. We will reimburse you for the postage. Thank you.

Transmitted By: Sherri  
Direct Dial: (231) 947-7901 x114





R. EDWARD KUHN  
TERRY C. ROGERS  
*(LLM, Taxation)*  
EDGAR ROY III  
JOSEPH E. QUANDT  
GREGORY J. DONAHUE  
GREGORY L. JENKINS  
TROY W. STEWART  
GINA A. BOZZER

412 SOUTH UNION STREET  
TRAVERSE CITY, MICHIGAN 49684  
TELEPHONE: 231-947-7900  
FAX: 231-941-5154

LANSING OFFICE:  
2937 ATRIUM DRIVE, SUITE 200  
OKEMOS, MICHIGAN 48864  
TELEPHONE: 517-347-7720

MATTHEW L. BOYD  
CHRISTOPHER G. ROGERS  
*(also admitted in Illinois)*  
MARC S. McKELLAR II

OF COUNSEL:  
LEWIS G. GATCH  
A. BROOKS DARLING

June 15, 2017

VIA FAX - 989-773-1988  
VIA EMAIL - [pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)  
AND FIRST CLASS MAIL  
Peter Gallinat  
Zoning Administrator  
Charter Township of Union  
2010 S. Lincoln Road  
Mt. Pleasant, MI 48858

Re: Mt. Pleasant Investment Properties, LLC

Dear Peter:

Pursuant to our discussion earlier today, this letter is to advise you that my client, Mt. Pleasant Investment Properties, LLC, is appropriately authorized to seek site plan approval and special use permit approval as requested in applications previously submitted to Union Township. It is my understanding that you may have been under the mistaken perception that my client did not have appropriate authority. Please be advised that my client has a purchase agreement in place with the current owners of the property which provides my client authorization to pursue township approval for my client's proposed land use. Enclosed is a copy of correspondence from the owner's attorney which more definitively sets forth my client's authority to seek these approvals.

Also, for clarification purposes with respect to the applications submitted, please be advised that Mt. Pleasant Investment Properties, LLC is not the owner of the property, but is authorized to seek site plan approval and special use permit approval from the owner. Accordingly, on the application for special use permit and application for site plan review, please feel free to place the notation on the applications with respect to my client's authorizations as referenced in the attached document. Please provide a copy of this letter in the package to the Planning Commission, so that this clarification and authorization is part of the administrative record of my client's applications.

Please let me know if you have any questions, comments or concerns related to this clarification.

Sincerely,

KUHN ROGERS PLC

Joseph E. Quandt  
Direct Dial: (231) 947-7901 x115  
[jequandt@krlawtc.com](mailto:jequandt@krlawtc.com)

JEQ:shp  
enclosures



GREGORY T. DEMERS

989-698-3708  
FAX 989-486-6108

GDemers@wnj.com

June 15, 2017

Re: **Figg Equities Limited Partnership / Mt. Pleasant Investment Properties, LLC**

To whom it may concern:

Please be advised that I am the representative of the owner of real property owned by Figg Equities Limited Partnership, which is described on the attached Exhibit A (the "Property"). This letter is to advise you that the Property is subject to a purchase agreement whereby Mount Pleasant Investment Properties, LLC is the prospective purchaser of the Property. Under the purchase agreement, Mount Pleasant Investment Properties, LLC has the right to seek zoning or land use approvals so long as those approvals are conditioned upon Mount Pleasant Investment Properties, LLC (or its allowed/designated assignee) actually purchasing the property. Mount Pleasant Investment Properties, LLC has the authority of the owner of the Property to seek these conditional approvals from any and all governmental authorities, including the Union Township Planning Commission and Union Township Board of Trustees for site plan or special use permit approval, subject to the conditions referenced above.

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A handwritten signature in black ink, appearing to read 'G. Demers'.

Gregory T. Demers

GTD/hmt  
15955759

Warner Norcross & Judd LLP  
Attorneys at Law  
715 East Main Street Suite 110  
Midland, Michigan 48640 • www.wnj.com

**EXHIBIT A**

A parcel of real estate approximately forty-six (46) acres; excepting seven (7) acres, consisting of a parcel bounded on the north by the south line of Parcel I.D. #14-020-20-001-02, by Lincoln Road to the east, by McGuirk Road to the south, and on the west at a line determined by survey to equal a seven (7) acre parcel; property to be sold is thirty-nine (39) acres +/- to be confirmed by survey located at South Lincoln Road, Union Township, Isabella County, Michigan (the "Premises"), more particularly described as:

Commencing 1102.88 feet South of the Northeast corner of Section 20, Town 14 North, Range 4 West, thence West 577.48 feet; thence North 15 degrees 57 minutes 11 seconds West, 209.03 feet; thence North 00 degrees 09 minutes 44 seconds West, 208.6 feet; thence North 89 degrees 21 minutes 46 seconds West, 1313.49 feet; thence South 640 feet; thence East 610.12 feet; thence South 660 feet; thence East 1338.88 feet, thence North 897.12 feet to the Point of Beginning.

Excepting:

Town 14 North, Range 4 West, Section 20, Commence 1102.88 feet South of the Northeast corner; thence South 472.16 feet; thence West 633.03 feet; thence North 00 degrees 09 minutes 44 seconds West, 673.14 feet; thence South 15 degrees 57 minutes 11 seconds East, 209.03 feet; thence East 577.48 feet to the Point of Beginning. 7.0 acres, more or less, and subject to an easement over the South 66.00 feet thereof for private roadway purposes.



GREGORY T. DEMERS

989-698-3708  
FAX 989-486-6108

GDemers@wnj.com

June 15, 2017

**Re: Greenspace, Inc. / Mt. Pleasant Investment Properties, LLC**

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Gregory T. Demers

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B-5

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Parcel I.D. # 14-020-20-001-01



Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

TO: Planning Commission  
FROM: Township Planner

**NEW Business**

**SUBJECT: D) SUP 2017-06 Public and Institutional Use S. Lincoln Rd.**

**Applicant:** CMS&D Surveying and Engineering

**Owner:** Mt Pleasant Investment Properties LLC

(Authorized by current owner Figg, Richard & Betty)

**Location:** S. Lincoln Rd. MT PLEASANT, MI 48858 PID 14-020-20-001-03

**Current Zoning:** R-3A Multiple Family Residential District

**Adjacent Zoning:** B-5/R-3A to the north across the road, B-5/R-2A to the east, B-5 to the west, R-3A to the south.

**Future Land Use/Intent:** High Density Residential: Primarily high density housing with mixed neighborhood commercial uses.

**Current Use:** vacant property

**Reason for Request:** Applicant proposes assisted senior living facility.

**History:** The proposed location of the Public and Institutional use is currently vacant. In addition to the public and Institutional use the applicant has proposed independent senior living on the property as well. This is a permitted use under section 18.2.A in the zoning code as multiple family dwellings of four or less units

The current owner of the property is Figg, Richard & Betty. Mt Pleasant Investment Properties LLC has been authorized to seek a special use for Public and Institutional Use. A preliminary site plan provided by the applicant shows the existing parcel to be split up at a later date. The location of the Public and Institutional use will be owned by Mt. Pleasant Investment Properties LLC

Special uses require a site plan review approved by the Planning Commission. The applicant has provided a preliminary site plan to be reviewed. Final review and approval for the site plan will be at a later date.

**Objective of board:** Within reasonable time following the public hearing, the Planning Commission shall review the application for the special use permit, testimony received at the public hearing, and other materials submitted in relation to the request and make a recommendation to the Township Board. Please refer to section 30.3.A.1-10 before making a recommendation

**Recommend at this time a recommendation of approval to the Township Board of Trustees SUP 2017-06 on the condition that:**

- **Public and Institutional use for nursing, extended care or convalescent homes only.**
- **A final site plan is approved by the Planning Commission in accordance with Sections, 10, 12, 17, and 30 of the Zoning Ordinance.**

**Peter Gallinat  
Twp Planner**

APPLICATION FOR A SPECIAL USE PERMIT

I (we) <sup>LLC</sup> Mt. Pleasant Investment Properties Inc. (Joseph Quandt) OWNERS OF PROPERTY AT  
~~1239 E. Broomfield Rd, Mt. Pleasant MI~~ LEGAL DESCRIPTION AS FOLLOWS:  
14-020-20-001-03  
SEE ATTACHED ALTA SURVEY

Respectfully request that a determination be made by the Township Board on the following request:

- I. Special Use For Senior Living Facility
  - II. Junk Yard Permit
- .....

Note: Use one of the sections below as appropriate. If space provided is inadequate, use a separate sheet.

I. Special Use Permit is requested for Public and institutional use  
Senior Assisted Living and Independent Living

Give reason why you feel permit should be granted: Existing adjacent developments include an existing and proposed apartment complex - this use is the same general type of residential use. Single family homes are also adjacent to the property.

II. Junk Yard Permit requirements are:

Location of property to be used \_\_\_\_\_

Zoning of the area involved is \_\_\_\_\_

Zoning of the abutting areas \_\_\_\_\_

.....

Fees \$200 Signature of Applicant [Signature]

Date 5/30/17 Joseph Quandt, Authorized Agent





**PROPOSED SPECIAL USE  
FOR  
SENIOR LIVING FACILITY**

**LEGAL DESCRIPTION OF THE R-3A DEVELOPMENT PARCEL:**

TOWNSHIP OF UNION, COUNTY OF ISABELLA, STATE OF MICHIGAN.  
COMMENCING 1102.88 FEET SOUTH OF THE NORTHEAST CORNER OF SECTION 20, T.14 N.-R.4 W., THENCE WEST 577.48 FEET; THENCE N.15°-57'-11"W., 209.03 FEET; THENCE N.00°-09'-44"W., 208.60 FEET; THENCE N.89°-21'-46"W., 1313.48 FEET; THENCE SOUTH, 640.00 FEET; THENCE EAST, 610.12 FEET; THENCE SOUTH, 660.00 FEET; THENCE EAST, 1338.88 FEET; THENCE NORTH, 897.12 FEET TO THE POINT OF BEGINNING.

**Summary of Request**

Based on our discussions with the Union Township Zoning Administrator, we have been instructed to submit a Special Use Request for the proposed development having a structure with more than four units. Proposed are nine buildings – (8) have four units each and are referred to as “Independent Senior Living”, (1) building has thirty-two units total and is referred to as “Assisted Senior Living”

**Give Reason why you feel permit should be granted:**

1. The special use shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property and the surrounding area.

*The proposed development is located south of Remus Road (M-20) and the west of Lincoln Road. To the east of the property is an existing apartment complex as well as a proposed apartment complex, to the north is a proposed multi-use commercial project. Directly south of the property are single family homes. This senior living facility is an ideal transition from residential to commercial.*

2. The special use shall not change the essential character of the surrounding area.

*The adjacent apartment complex is essentially the same type of use as we are proposing.*

3. The special use shall not interfere with the general enjoyment of adjacent property.

*The adjacent properties are either zoned the same (R3A) or R2A/B. The location of this property makes for an ideal transition parcel from single family residential, to the proposed senior living facility to the proposed commercial property to the north. A shared Private Roadway will separate the proposed commercial development to the north.*

4. The special use shall not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes, or glare.

*Based on discussions with MDOT their preferred point of access for the parcel is out to Lincoln Road. Based on this, a Private Roadway has been shown to extend from the development East to Lincoln Road. This Roadway has been shifted to the South as far as possible to allow more distance to the traffic light at Lincoln and Remus, while still abiding by the Isabella County Road Commissions Access Management Design Criteria. The proposed operations will not pose a health, safety of welfare problem.*

5. The special use shall be adequately served by essential public facilities and services; or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequate services and facilities deemed essential to the special use under consideration. The said facilities or services shall be approved by the Central Michigan District Health Department.

*The proposed development will be extending Public Water, Public Sewer and its own Private Storm Sewer Services. Fire Flows were completed by the Township DPW in conjunction with the Mt. Pleasant Fire Department on the Water System to assure that there was adequate flow and pressure for the system. The existing sanitary sewer system has capacity for the proposed development and the newly installed County Drain along Lincoln Road also has capacity for the propose private system.*

6. When deemed necessary by the Township Board or Planning Commission, the use shall be adequately screened by distance and landscaping to protect the rights of all adjoining property.

*The properties to the south will have roughly a 350' natural buffer against the senior living facility. East and west landscape buffers are proposed. To the north, a buffer line is proposed against the proposed future Senior Care Facility (R3A).*

7. The Township Board or Planning Commission, in connection with approval of any application, may require reasonable undertaking by the applicant to guarantee and assure by agreement, including a performance bond to be posted by the applicant or by some other reasonable surety arrangement at appropriate stages of the planned development, that the development will be executed in accordance with the approved plan.

*The proposed development, if approved will be constructed in compliance with the approved plans and all applicable zoning and building codes.*

8. That such use will be an asset to the Township.

*The proposed development constitutes a multi-million dollar investment into the community. The included rendering package illustrates that the development will be an up scale improvement to the surrounding area and will be an asset to the community.*

**Mt Pleasant Investment Properties LLC**

May 25, 2017

Charter Township of Union  
2010 S. Lincoln  
Mt. Pleasant, MI 48858

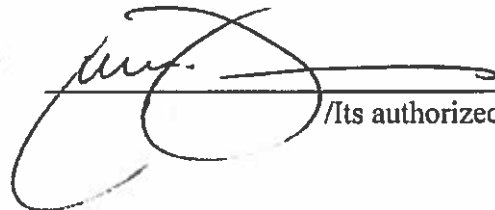
Re: Authorized Agent

To whom it may concern,

Mt. Pleasant Investment Properties, LLC has authority to pursue zoning or land use approvals including but not limited to, site plan reviews or special use permits from the title holders of certain properties pursuant to purchase agreements with those owners. Those properties include: parcel ID 14-020-20-001-03, 14-020-20-002-00, and 14-020-20-001-01. Mt. Pleasant Investment Properties, LLC therefore authorizes CMS&D to act on behalf, as its agent, to seek such land use approvals.

Regards,

Mt. Pleasant Investment Properties, LLC

  
\_\_\_\_\_  
/Its authorized Agent

## AFFIDAVIT OF PUBLICATION

48 West Huron Street • Pontiac, MI 48342

CHARTER TOWNSHIP OF UNION  
2010 S Lincoln

Mount Pleasant, MI 48858  
Attention: PETER GALLINAT

STATE OF MICHIGAN,  
COUNTY OF ISABELLA

*Jack Allport*  
*Jack Allport*

The undersigned \_\_\_\_\_, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

### CHARTER TOWNSHIP OF UNION

#### Published in the following edition(s):

Morning Sun	06/04/17
morningstarpublishing.com	06/04/17



Sworn to the subscribed before me this 5<sup>th</sup> June 2017  
*Tina M. Crown*  
\_\_\_\_\_  
Notary Public, State of Michigan  
Acting in Oakland County

**UNION TOWNSHIP PUBLIC HEARING NOTICE**  
-SPECIAL USE PERMIT  
NOTICE is hereby given that a Public Hearing will be held on Tuesday, June 20, 2017, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a Special Use Permit, as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by **ML Pleasant Investments Properties, LLC**, a Special Use Permit in a R-3A (Multiple-Family Residential District) zone for Public and Institutional Use

Legal Description of property: T14N R4W, SEC 20, COM 1102.88 FT S OF NE COR, TH W 577.48 FT; TH N 15D57M11S W 209.03 FT; TH N 0D9M44S W 208.6 FT; TH N 69D21M46S W 1312.49 FT, S 640 FT, E 610.12 FT, S 660 FT, E 1338.88 FT, N 897.12 TO P.O.B

This property is located at: S. LINCOLN RD MT PLEASANT, MI 48858 PID 14-020-20-001-03

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,  
Township Planner

Published June 4, 2017

#### Advertisement Information

Client Id: 531226 Ad Id: 1351346 PO: Sales Person: 200300



R. EDWARD KUHN  
TERRY C. ROGERS  
*(LLM, Taxation)*  
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EDGAR ROY III  
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MARC S. McKELLAR II

OF COUNSEL:  
LEWIS G. GATCH

June 15, 2017

**FACSIMILE COVER SHEET**

Please deliver the following pages to:

Name: Peter Gallinat  
Fax No.: 989-773-1988  
RE: Mt. Pleasant Investment Properties, LLC  
From: Joe Quandt

Total number of pages (including cover sheet):

Our File No.

Message:

**THE INFORMATION CONTAINED IN THIS FACSIMILE TRANSMISSION IS  
ATTORNEY-CLIENT PRIVILEGED AND CONFIDENTIAL**

It is intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution, or copy of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone, collect, and return the original message to us at the above address via the U.S. Postal Service. We will reimburse you for the postage. Thank you.

Transmitted By: Sherri  
Direct Dial: (231) 947-7901 x114



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*(LLM, Taxation)*  
EDGAR ROY III  
JOSEPH E. QUANDT  
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June 15, 2017

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VIA EMAIL - [pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)  
AND FIRST CLASS MAIL  
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Zoning Administrator  
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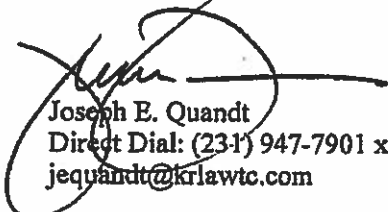
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[jequandt@krlawtc.com](mailto:jequandt@krlawtc.com)

JEQ:shp  
enclosures



GREGORY T. DEMERS

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FAX 989-486-6108

GDemers@wnj.com

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GTD/hmt  
15955759

Warner Norcross & Judd LLP  
Attorneys at Law  
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Midland, Michigan 48640 • www.wnj.com

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June 15, 2017

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Parcel I.D. # 14-020-20-001-01

## **UNION TOWNSHIP PUBLIC HEARING NOTICE -SPECIAL USE PERMIT**

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**Requested by Mt. Pleasant Investments Properties, LLC, a Special Use Permit in a R-3A (Multiple-Family Residential District) zone for Public and Institutional Use**

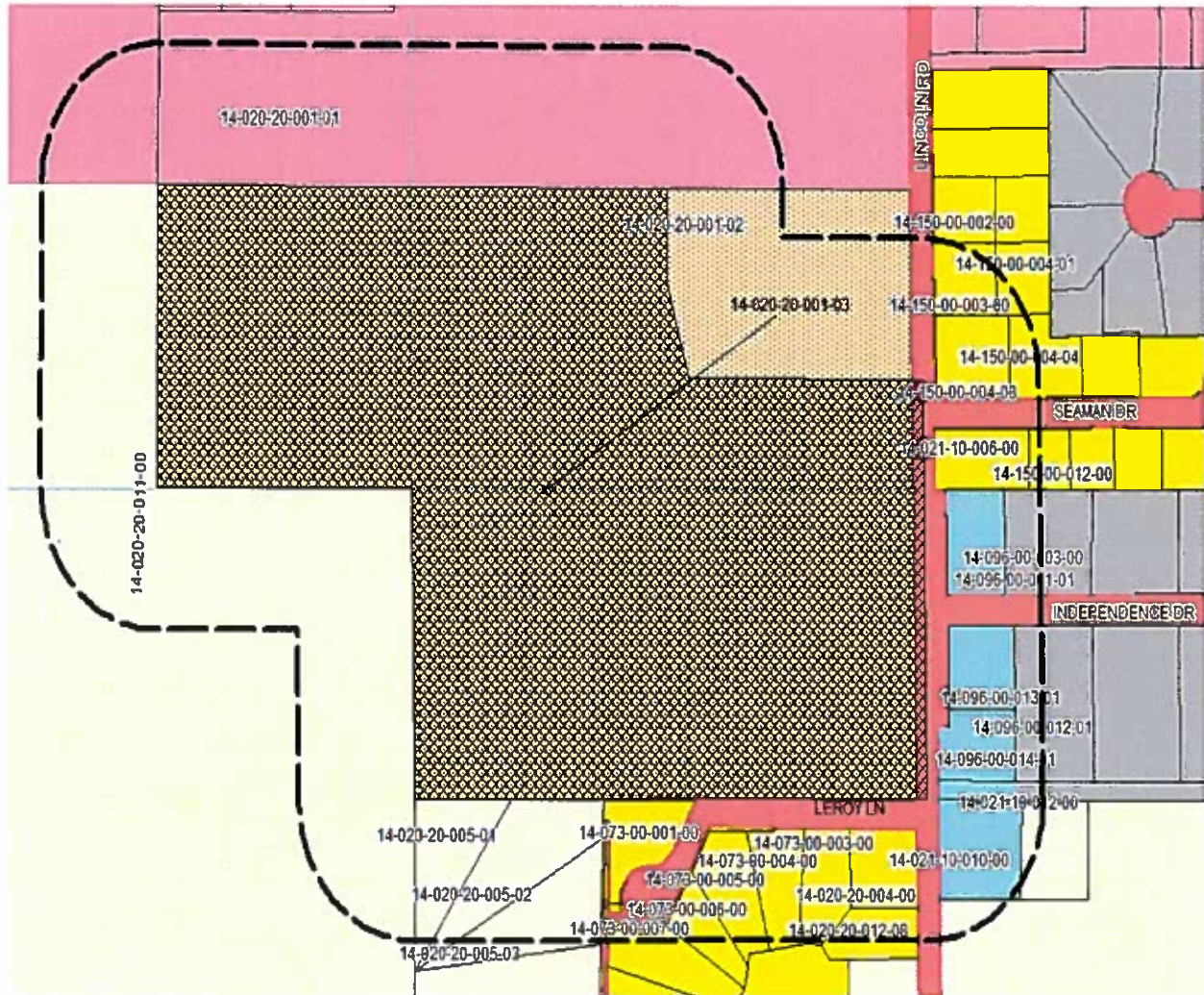
Legal Description of property: T14N R4W, SEC 20, COM 1102.88 FT S OF NE COR , TH W 577.48 FT; TH N 15D57M11S W 209.03 FT; TH N 0D9M44S W 208.6 FT; TH N 89D21M46S W 1313.49 FT, S 640 FT, E 610.12 FT, S 660 FT, E 1338.88 FT, N 897.12 TO P.O.B

This property is located at: S. LINCOLN RD MT PLEASANT, MI 48858  
PID 14-020-20-001-03

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,  
Township Planner



The checked parcel represents PID 14-20-20-001-03 S. Lincoln Rd. This parcel is zoned R-3A (Multiple Family Residential District). The brownish tan colored parcels represent R-3A. The yellow parcels represent R-2A (One and Two Family Low Density Residential District). The off yellow parcel represents R-1 (Rural Residential District). The grey parcels represent I-1 (Light Industrial District). The blue colored parcels represent OS (Office Service District). The dashed line around the subject property represents a 300 foot radius around the subject property PID 14-20-20-001-03 S. Lincoln Rd.

MCGUIRK MINI STORAGE INC  
PO BOX 530  
MT PLEASANT, MI 48858

GREENSPACE INC  
1982 E. REMUS RD.  
MT PLEASANT, MI 48858

UNION FARMS LLC  
1720 E. PICKARD RD.  
MT PLEASANT, MI 48858

FIGG RICHARD & BETTY  
1239 E. BROOMFIELD RD.  
MT PLEASANT, MI 48858

FIGG RICHARD & BETTY  
ARBORETUM APARTMENTS  
6860 ST. ADREWS DR.  
MT PLEASANT, MI 48858

SWINDLEHURST RICHARD  
700 N. ISABELLA  
MT PLEASANT, MI 48858

WIECZOREK STEVEN M.  
767 S. DOE TRL  
MT PLEASANT, MI 48858

UTTERBACK CURT J & ROBYN L  
3397 S. LINCOLN RD.  
MT PLEASANT, MI 48858

LUMBERT KIMBERLEE  
3229 SEAMAN DR.  
MT PLEASANT, MI 48858

WHITEFOOT MELISSA A  
3315 S. LINCOLN RD  
MT PLEASANT, MI 48858

ROHMAN LAND LLC  
C/O LINCOLN COURT ASSO.  
416 SMALLEY DR.  
MT PLEASANT, MI 48858

HOMEBUILDERS ASSO.  
2026 INDEPENDENCE DR.  
MT PLEASANT, MI 48858

A & K REAL ESTATE HOLDINGS LLC  
C/O ALAN JOHNS  
1414 W. HIGH ST.  
MT PLEASANT, MI 48858

KLEIN EDWARD R & DENEEN E.  
2141 O'CONNOR DR.  
MT PLEASANT, MI 48858

CENTRAL CONCRETE PRODUCTS  
P.O. BOX 389  
MT PLEASANT, MI 48858-0389

LOGAN JORDAN  
3333 S. LINCOLN RD.  
MT PLEASANT, MI 48858

MCGUIRK LEROY E.  
C/O SANDRA DEAN  
6581 EGYPT RIDGE RD.  
ROCKFORD, MI 49341

KATHLEEN CHIMBER  
3332 S. LINCOLN RD.  
MT PLEASANT, MI 48858

ENGLEHARDT BRIAN & LINDSAY J  
1924 LEROY LANE  
MT PLEASANT, MI 48858

ELMORE ROBERT A  
1890 KEROY LANE  
MT PLEASANT, MI 48858

LEE SOO-YEN & SEUNG-EUN  
1846 LEROY LANE  
MT PLEASANT, MI 48858

WANG QIAN & LING ZHANG  
1810 LEROY LANE  
MT PLEASANT, MI 48858

SONI VIDU & LEENA & DEEPA  
1839 LEROY LANE  
MT PLEASANT, MI 48858

PLETCHER TIMOTHY A &  
JENNIFER OLSEN  
3412 S. LINCOLN RD.  
MT PLEASANT, MI 48858

KEEBAUCH KURT & KELLY  
3410 S. LINCOLN RD.  
MT PLEASANT, MI 48858

MCGUIRK PATRICK H  
3416 S. LINCOLN RD.  
MT PLEASANT, MI 48858

# Union Township Senior Living Facility

14-020-20-001-03

Remus and Lincoln Roads  
Mt. Pleasant, MI

### STATEMENT OF SELECTED DESIGN PROFESSIONAL

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES ISSUED AND APPROVED CODE MODIFICATIONS AND/OR MUNICIPAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

REGISTERED DESIGN PROFESSIONAL IN CHARGE:  
PETER STUHLREYER, A.I.A.  
MICHIGAN IDENTIFICATION # 44668  
DESIGNHAUS ARCHITECTURE

### PROJECT TEAM

**OWNER**  
MT. PLEASANT INVESTMENT PROPERTIES LLC  
2937 ATRIUM DR., SUITE 200  
OKEMOS, MI 48864  
T: 231.947.7901 EXT.115  
CONTACT: JOSEPH QUANDT

**ARCHITECT**  
DESIGNHAUS ARCHITECTURE  
301 WALNUT BLVD.  
ROCHESTER, MI 48307  
T: 248.601.4422  
F: 248.453.5854  
PROJECT MANAGER: JOE LATOZAS  
PROJECT ARCHITECT:  
PETER STUHLREYER, A.I.A.

### INDEX OF DRAWINGS

- SHEET ISSUED
- REVISED
- SHEET REISSUED

SHEET NO: DRAWING NAME

**GENERAL**

G001 Title Sheet and Index  
G002 Reference & Code Information

**SURVEY**

1 OF 6 Cover Sheet  
2 OF 6 Boundary Easement Sheet  
3 OF 6 ALTA/NSPS Survey Sheet 1  
4 OF 6 ALTA/NSPS Survey Sheet 2  
5 OF 6 ALTA/NSPS Survey Sheet 3  
6 OF 6 ALTA/NSPS Survey Detail Sheet

**SITE/LANDSCAPE**

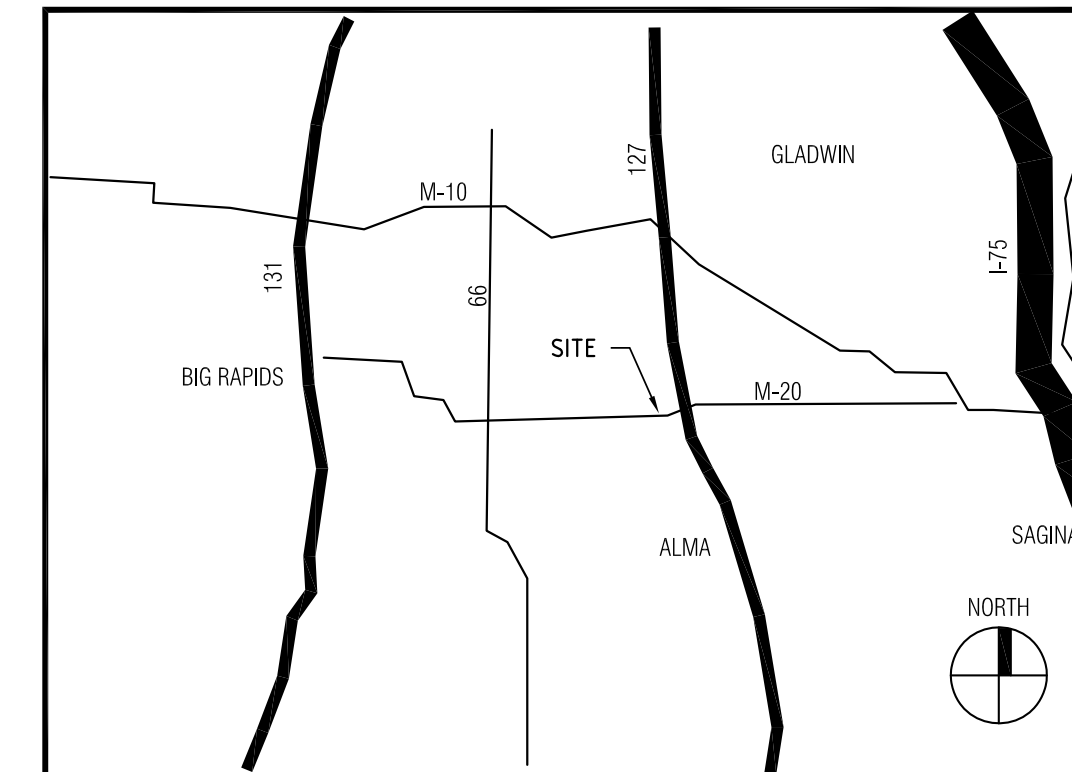
S100 Site Plan  
L100 Landscape Plan  
S101 Composite Site Plan  
S200 Utility and Grading Plan  
S300 Site and Landscape Details

**ARCHITECTURAL**

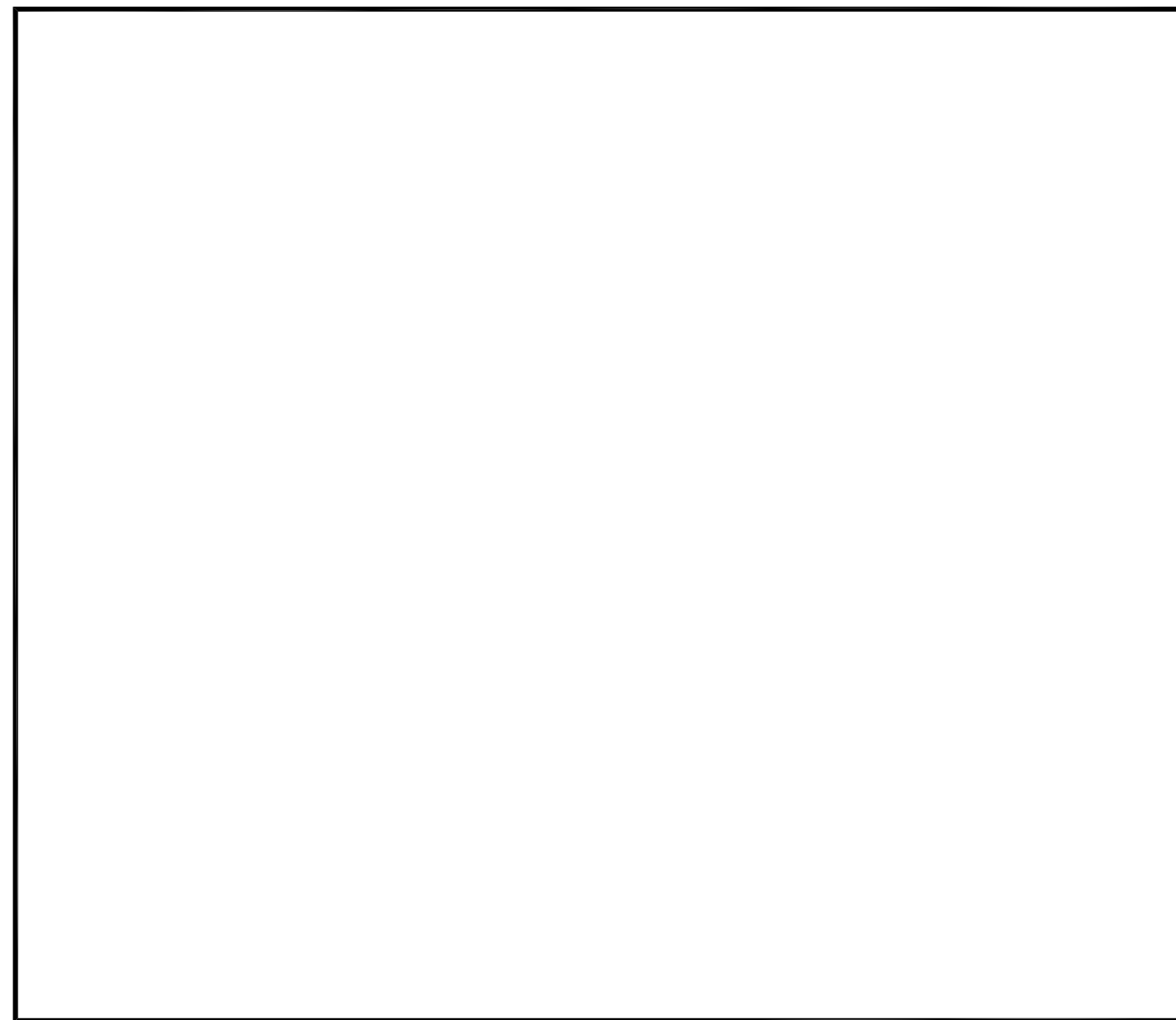
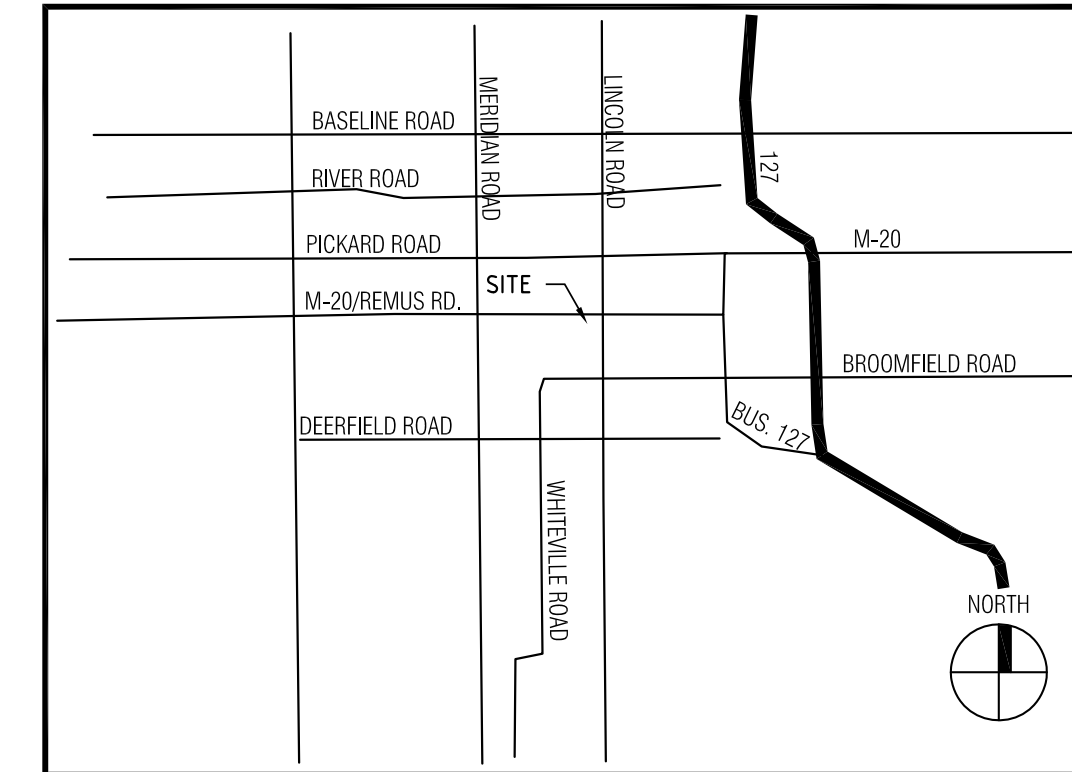
A100 Overall Construction Plan  
A101 Roof Plan  
A200 Elevations  
A201 Elevations  
A300 Building Sections  
A301 Wall Sections  
A400 Not Used  
A500 Details  
A600 Partition Details  
A601 Door Schedule & Details  
A602 Interior Finish Schedule

Special Use & Site Plan Approval: 5.26.17

### VICINITY MAP



### LOCATION MAP



No.	Revision/Issue	Date
	---	---
	---	---
	---	---
	Special Use & Site Plan Approval	5.26.17

**Union Township  
Senior Living Facility**  
14-020-20-001-03  
Mt. Pleasant, MI

Title Sheet and Index

**G001** 017033

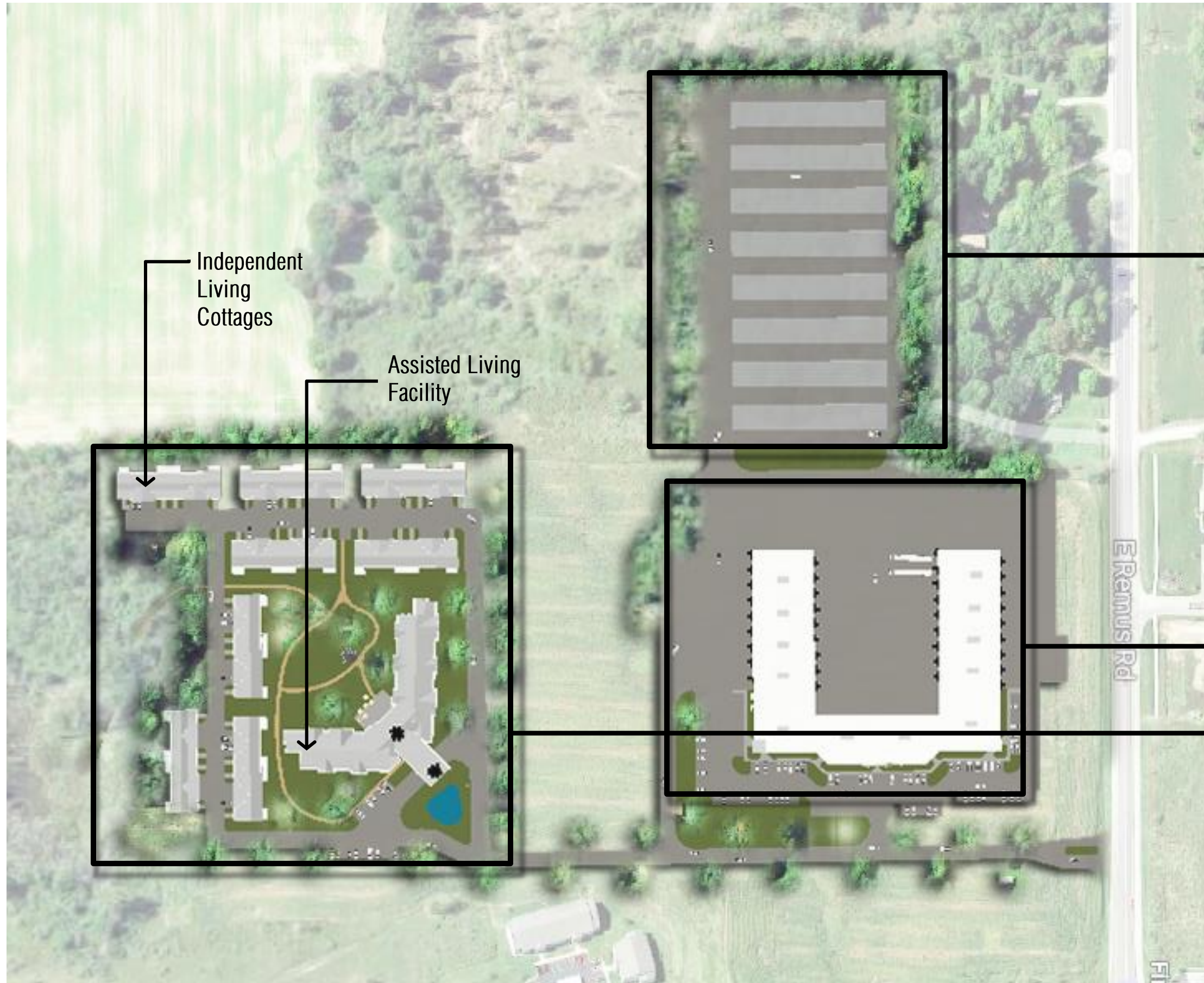
Use Variance and Site Plan Approval Design Package for  
**Union Township Multiuse Development**



# Union Township Multiuse Development

Site

North →



Independent Living Cottages

Assisted Living Facility

Self Storage

Office

Senior Living

May 25<sup>th</sup>, 2017

301 Walnut Blvd | Rochester, Michigan | 48307 | p 248 601 4422 | [www.designhaus.com](http://www.designhaus.com)





# Senior Living

# Union Township Multiuse Development



# Union Township Multiuse Development



# Union Township Multiuse Development



# Union Township Multiuse Development



# Union Township Multiuse Development

Assisted Living Center



FRONT ELEVATION



SIDE ELEVATION

# Union Township Multiuse Development

Assisted Living Center - Materials

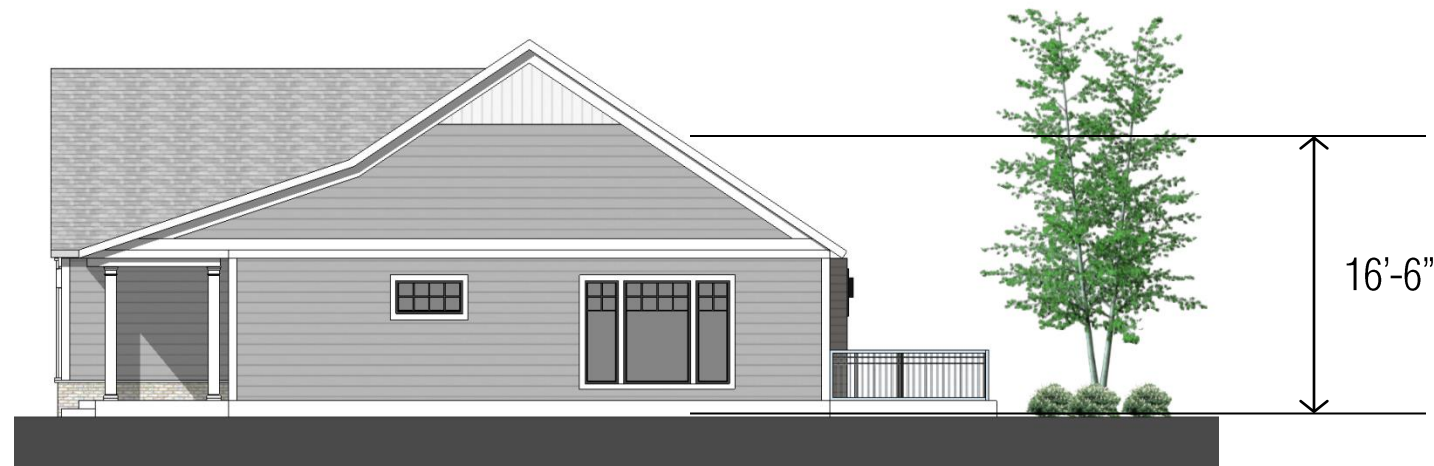


# Union Township Multiuse Development

Independent Living Cottages



FRONT ELEVATIONS



SIDE ELEVATIONS



# Union Township Multiuse Development

Independent Living Cottages - Materials





Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: E) SPR 2017-04 Self storage buildings 1982 E. Remus Rd.**  
(Final Site Plan Review)

**Applicant:** CMS&D Surveying and Engineering

**Owner:** Mt Pleasant Investment Properties LLC (Authorized by current owner Greenspace Inc.)

**Location:** 1982 E. Remus Rd. Mt. Pleasant, MI 48858

**Current Zoning:** B-5 Highway Business District.

**Adjacent Zoning:** B-5/R-3A to the north across the road, B-5/R-2A to the east, B-5 to the west, R-3A to the south.

**Future Land Use/Intent:** Commercial: Shopping, office and professional services with mixed residential uses.

**Current Use:** Coffee shop currently not in business.

**Reason for Request:** Applicant proposes self storage buildings and office buildings with attached accessory buildings.

**History:** The proposed location of the self storage buildings and Office building is currently vacant. A special use for self storage has been applied for at the same time as this site plan. One of the tenets of the office building will be for McGuirk Sand and Gravel. This is a permitted office use as the ZBA determined in March of 2017. The accessory buildings for servicing and washing of trucks and related equipment are permitted as determined by the ZBA in March of 2017

The current owner of the property is Greenspace Inc. Mt Pleasant Investment Properties LLC has been authorized to final site plan approval for the self storage buildings and office building for the property. The site plan shows the property to be split up at a later date. The location of the self storage buildings will be on a parcel owned by McGuirk Mini-Storage. And the office building will be owned by McGuirk Sand and Gravel.

**Objective of board:** Final site plan was received 14 days (06-06-2017) before our regular scheduled meeting on June 20, 2017. The Planning Commission shall study the site plan and shall, within sixty days of its submittal to the Zoning Official, either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated.

**Recommend at this time recommend approval of SPR 2017-04 Self storage buildings , and office buildings on the condition that**

- All requirements of outside agencies: Mt. Pleasant Fire Department, Isabella County Road Commission, MDOT, Isabella County Transportation

Commission, Isabella County Drain Office for storm water management, Township Utilities be adhered to.

- Screening standards of Section 23.4 and 30.3.U adhered to.
- 5 foot sidewalks installed down Remus Rd, along current parcels 14-020-20-001-01, 1982 E. Remus Rd. and 14-020-20-002-00 1956 E. Remus Rd.
- Sidewalks installed on Lincoln Rd along Parcel 14-020-20-001-01, 1982 E. Remus Rd.
- Self Storage buildings can only cover 30% of lot coverage. Current plan exceeds 30% lot coverage of proposed new 5.52 acre parcel.
- All requirements of sections 10, 12,23, and 30 adhered to.

**Peter Gallinat**  
Twp Planner

## Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name MT. PLEASANT INVESTMENT PROPERTIES LLC
- III. Applicant Address 2937 ATRIUM DRIVE, SUITE 200, OKEMOS, MI 48864
- IV. Applicant Phone 231-947-7901 x115 Owner Phone \_\_\_\_\_
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner skip V & VI  
Other \_\_\_\_\_
- VI. Land Owner Name Same as above
- VII. Land Owner Address \_\_\_\_\_
- VIII. Project/Business Name Mt Pleasant Investment Commercial West Development
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES	Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer	✓	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	✓	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	✓	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	✓	Rick (989) 773 2913, (2) copies
<b>WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)</b>		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	✓	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List	✓	
<b>SITE PLAN REQUIREMENTS</b>	<b>I Of</b>	<b>Comments - (also indicate any features which will not be included in the development or are not applicable)</b>
Name and addresses of Property Owner	✓	
Name and Address of Applicant	✓	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	✓	

**Union Township Site Plan Review Application 2015 Revision**

The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	✓	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	✓	
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - -	✓	
drives, -----	✓	
sidewalks, (required) -----	✓	
curb openings, -----	✓	
acceleration/deceleration lanes, -----	✓	
signs, -----	✓	
exterior lighting on buildings and parking lots, - -	✓	
parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), -----	✓	
recreation areas, -----	✓	
common use areas, -----		
areas to be conveyed for public use and purpose. -		
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	✓	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	✓	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	✓	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	✓	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	✓	


**Union Township Site Plan Review Application 2015 Revision**

The zoning of the subject property and the abutting properties.	✓	
The location, height and type of fences and walls.	✓	
The location and detailed description of landscaping.	✓	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.		
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	✓	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.		

**APPLICANT COMMENTS**


**Union Township Site Plan Review Application 2015 Revision**

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

 \_\_\_\_\_ Date 5/30/17  
Signature of Applicant Joseph Authorized  
Agent, MOUNT PLEASANT INVESTMENT  
\_\_\_\_\_  
Signature of Owner (if other than applicant) PLANTIES  
LLC Date \_\_\_\_\_

PLEASE PLACE OUR REVIEW ON THE June 20<sup>th</sup> 2017 (INSERT DATE)  
PLANNING COMMISSION MEETING. An owners representative WILL WILL NOT attend. You  
will not receive a reminder of the scheduled meeting.

**Union Township Site Plan Review Application** 2015 Revision

<u>Township use</u>	Review Comments
File # _____	_____
Fee Paid initial _____	_____
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	_____
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	_____



# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: MT. PLEASANT INVESTMENT PROPERTIES LLC

Name of business owner(s): JOSEPH QUANDT

Street and mailing address: 2937 ATRIUM DR. SUITE 200  
OKEMES, MI 48864

Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: Jequandt@krlawtc.com

**I affirm that the information submitted is accurate.**

Owner(s) signature and date:

Joseph Quandt  
June 6, 2017

Information compiled by:

SHANEE THAYER, OFFICE MANAGER

CENTRAL MI SURVEYING AND DEVELOPMENT, CO. INC.

## Part 1: Management of Hazardous Substances and Polluting Materials

1. Y  N  Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y  N  Will the hazardous substances or polluting materials be reused or recycled on-site??
3. Y  N  — Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y  N  Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y  N  Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y  N  — — Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank  
b. on-site system
- The on-site system must be approved by the MDEQ.  
Contact: MDEQ Waste Management Division.  
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y  N  Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

## Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On -Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
<b>KEY:</b> LIQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas	<b>KEY:</b> AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank			



## PERMIT INFORMATION

[www.michigan.gov/deqpermits](http://www.michigan.gov/deqpermits)

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM, WEBPAGE AND CONTACTS
<b>MISCELLANEOUS CONSTRUCTION</b>			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), <a href="#">Permit Section</a>
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <a href="#">Asbestos Program</a>
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <a href="#">Land and Water Management Decision Tree</a> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <a href="#">Joint Permit Application</a>
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<a href="#">Soil Erosion and Construction Storm Water</a> , or Contact your <a href="#">Local Agency</a>
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	NPDES <a href="#">Storm Water Permits Program</a> , or appropriate <a href="#">DEQ District Office</a>
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Public Swimming Pool Program</a> , or appropriate <a href="#">DEQ District Office</a>
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Endangered Species Assessment, <a href="#">Threatened and Endangered Species Program</a> , 517-373-1552
Does the project involve <i>construction</i> or alteration of any <i>sewage collection or treatment</i> facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate <a href="#">District Office</a> , WRD, Part 41 Construction Permit Program
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <a href="#">Solid Waste</a> , Appropriate <a href="#">DEQ District Office</a>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, <a href="#">Treatment, Storage and Disposal</a>
<b>WATER SUPPLY (More information, see: <a href="http://www.michigan.gov/deqwater">http://www.michigan.gov/deqwater</a>, select "drinking water")</b>			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your <a href="#">Local Water Utility</a>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <a href="#">Local Health Department</a>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Guide</a> , Contact your (District or County) <a href="#">Local Health Department</a>
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Community Water Supply</a> , <a href="#">DEQ District Office Community Water Supply Program</a>

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
<b>NPDES:</b> Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Appropriate DEQ District Office, or National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	WRD, <u>Permits Section, or appropriate DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP</u> or <u>Appropriate DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Web Site</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
<b>CHEMICAL ADDITION PROJECTS</b>			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
<b>PERSONAL LICENSES/CERTIFICATIONS</b>			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

Water or Groundwater)?			
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
<b>OIL, GAS AND MINERALS</b>			
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade Iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOWMRP, <u>Radioactive Protection Programs</u>
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>			
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

**Mt Pleasant Investment Properties LLC**

May 25, 2017

Charter Township of Union  
2010 S. Lincoln  
Mt. Pleasant, MI 48858

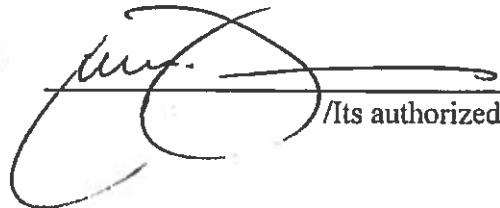
Re: Authorized Agent

To whom it may concern,

Mt. Pleasant Investment Properties, LLC has authority to pursue zoning or land use approvals including but not limited to, site plan reviews or special use permits from the title holders of certain properties pursuant to purchase agreements with those owners. Those properties include: parcel ID 14-020-20-001-03, 14-020-20-002-00, and 14-020-20-001-01. Mt. Pleasant Investment Properties, LLC therefore authorizes CMS&D to act on behalf, as its agent, to seek such land use approvals.

Regards,

Mt. Pleasant Investment Properties, LLC

  
\_\_\_\_\_  
/Its authorized Agent



R. EDWARD KUHN  
TERRY C. ROGERS  
*(LLM, Taxation)*  
A. BROOKS DARLING  
EDGAR ROY III  
JOSEPH E. QUANDT  
GREGORY J. DONAHUE  
GREGORY L. JENKINS



412 SOUTH UNION STREET  
TRAVERSE CITY, MICHIGAN 49684  
TELEPHONE: 231-947-7900  
FAX: 231-941-5154

LANSING OFFICE:  
2937 ATRIUM DRIVE, SUITE 200  
OKEMOS, MICHIGAN 48864  
TELEPHONE: 517-347-7720

TROY W. STEWART  
GINA A. BOZZER  
MATTHEW L. BOYD  
CHRISTOPHER G. ROGERS  
*(also admitted in Illinois)*  
MARC S. McKELLAR II

OF COUNSEL:  
LEWIS G. GATCH

June 15, 2017

**FACSIMILE COVER SHEET**

Please deliver the following pages to:

Name: Peter Gallinat  
Fax No.: 989-773-1988  
RE: Mt. Pleasant Investment Properties, LLC  
From: Joe Quandt

Total number of pages (including cover sheet):

Our File No.

Message:

**THE INFORMATION CONTAINED IN THIS FACSIMILE TRANSMISSION IS  
ATTORNEY-CLIENT PRIVILEGED AND CONFIDENTIAL**

It is intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution, or copy of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone, collect, and return the original message to us at the above address via the U.S. Postal Service. We will reimburse you for the postage. Thank you.

Transmitted By: Sherri  
Direct Dial: (231) 947-7901 x114



R. EDWARD KUHN  
TERRY C. ROGERS  
*(LLM, Taxation)*  
EDGAR ROY III  
JOSEPH E. QUANDT  
GREGORY J. DONAHUE  
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*(also admitted in Illinois)*  
MARC S. McKELLAR II

OF COUNSEL:  
LEWIS G. GATCH  
A. BROOKS DARLING

June 15, 2017

**VIA FAX - 989-773-1988**  
**VIA EMAIL - pgallinat@uniontownshipmi.com**  
**AND FIRST CLASS MAIL**  
Peter Gallinat  
Zoning Administrator  
Charter Township of Union  
2010 S. Lincoln Road  
Mt. Pleasant, MI 48858

Re: Mt. Pleasant Investment Properties, LLC

Dear Peter:

Pursuant to our discussion earlier today, this letter is to advise you that my client, Mt. Pleasant Investment Properties, LLC, is appropriately authorized to seek site plan approval and special use permit approval as requested in applications previously submitted to Union Township. It is my understanding that you may have been under the mistaken perception that my client did not have appropriate authority. Please be advised that my client has a purchase agreement in place with the current owners of the property which provides my client authorization to pursue township approval for my client's proposed land use. Enclosed is a copy of correspondence from the owner's attorney which more definitively sets forth my client's authority to seek these approvals.

Also, for clarification purposes with respect to the applications submitted, please be advised that Mt. Pleasant Investment Properties, LLC is not the owner of the property, but is authorized to seek site plan approval and special use permit approval from the owner. Accordingly, on the application for special use permit and application for site plan review, please feel free to place the notation on the applications with respect to my client's authorizations as referenced in the attached document. Please provide a copy of this letter in the package to the Planning Commission, so that this clarification and authorization is part of the administrative record of my client's applications.

Please let me know if you have any questions, comments or concerns related to this clarification.

Sincerely,

KUHN ROGERS PLC

Joseph E. Quandt  
Direct Dial: (231) 947-7901 x115  
jequandt@krlawtc.com

JEQ:shp  
enclosures



GREGORY T. DEMERS

989-698-3708  
FAX 989-486-6108

GDemers@wnj.com

June 15, 2017

Re: **Figg Equities Limited Partnership / Mt. Pleasant Investment Properties, LLC**

To whom it may concern:

Please be advised that I am the representative of the owner of real property owned by Figg Equities Limited Partnership, which is described on the attached Exhibit A (the "Property"). This letter is to advise you that the Property is subject to a purchase agreement whereby Mount Pleasant Investment Properties, LLC is the prospective purchaser of the Property. Under the purchase agreement, Mount Pleasant Investment Properties, LLC has the right to seek zoning or land use approvals so long as those approvals are conditioned upon Mount Pleasant Investment Properties, LLC (or its allowed/designated assignee) actually purchasing the property. Mount Pleasant Investment Properties, LLC has the authority of the owner of the Property to seek these conditional approvals from any and all governmental authorities, including the Union Township Planning Commission and Union Township Board of Trustees for site plan or special use permit approval, subject to the conditions referenced above.

Very truly yours,

Gregory T. Demers

GTD/hmt  
15955759

**EXHIBIT A**

A parcel of real estate approximately forty-six (46) acres; excepting seven (7) acres, consisting of a parcel bounded on the north by the south line of Parcel L.D. #14-020-20-001-02, by Lincoln Road to the east, by McGuirk Road to the south, and on the west at a line determined by survey to equal a seven (7) acre parcel; property to be sold is thirty-nine (39) acres +/- to be confirmed by survey located at South Lincoln Road, Union Township, Isabella County, Michigan (the "Premises"), more particularly described as:

Commencing 1102.88 feet South of the Northeast corner of Section 20, Town 14 North, Range 4 West, thence West 577.48 feet; thence North 15 degrees 57 minutes 11 seconds West, 209.03 feet; thence North 00 degrees 09 minutes 44 seconds West, 208.6 feet; thence North 89 degrees 21 minutes 46 seconds West, 1313.49 feet; thence South 640 feet; thence East 610.12 feet; thence South 660 feet; thence East 1338.88 feet, thence North 897.12 feet to the Point of Beginning.

Excepting:

Town 14 North, Range 4 West, Section 20, Commence 1102.88 feet South of the Northeast corner; thence South 472.16 feet; thence West 633.03 feet; thence North 00 degrees 09 minutes 44 seconds West, 673.14 feet; thence South 15 degrees 57 minutes 11 seconds East, 209.03 feet; thence East 577.48 feet to the Point of Beginning. 7.0 acres, more or less, and subject to an easement over the South 66.00 feet thereof for private roadway purposes.



GREGORY T. DEMERS

989-698-3708  
FAX 989-486-6108

GDemers@wnj.com

June 15, 2017

Re: Greenspace, Inc. / Mt. Pleasant Investment Properties, LLC

To whom it may concern:

Please be advised that I am the representative of the owner of real property owned by Greenspace, Inc., which is described on the attached Exhibit A (the "Property"). This letter is to advise you that the Property is subject to a purchase agreement whereby Mount Pleasant Investment Properties, LLC is the prospective purchaser of the Property. Under the purchase agreement, Mount Pleasant Investment Properties, LLC has the right to seek zoning or land use approvals so long as those approvals are conditioned upon Mount Pleasant Investment Properties, LLC (or its allowed/designated assignee) actually purchasing the property. Mount Pleasant Investment Properties, LLC has the authority of the owner of the Property to seek these conditional approvals from any and all governmental authorities, including the Union Township Planning Commission and Union Township Board of Trustees for site plan or special use permit approval, subject to the conditions referenced above.

Very truly yours,

A handwritten signature in black ink, appearing to read 'G. Demers'.

Gregory T. Demers

GTD/hrmt  
15955781

**EXHIBIT A**

A parcel of real estate approximately twenty-six point two (26.2) acres in size located at South Lincoln Road, Union Township, Isabella County, Michigan (the "Premises"), more particularly described as:

B-5

T14N R4W, Section 20; commencing at the Northeast corner of Section 20; South 89°37'58" West along the North section line 242 feet; thence South 1°0'7" East 178 feet; thence South 89°37'58" West 165 feet; thence North 1°0'7" West 178 feet to the North section line; thence South 89°37'58" West 914 feet; thence South 1°0'7" East 182 feet; thence South 89°37'58" West 34 feet; thence South 1°0'7" East 132 feet; thence South 89°37'58" West 594 feet; thence South 1°0'7" East 386 feet; thence North 89°37'58" East 1949 feet to the East section line; thence North 1°0'7" West 700 feet to the Point of Beginning. (26.2 acres.)

Parcel I.D. # 14-020-20-001-01

**Shanee Thayer**

---

**From:** "Rick Collins" <[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)>  
**Date:** Monday, June 05, 2017 9:45 AM  
**To:** "Peter Gallinat" <[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)>; "Shanee Thayer" <[info@cms-d.com](mailto:info@cms-d.com)>  
**Subject:** Mt Pleasant Investment Properties Commercial Development -Lincoln and Remus

After reviewing the plans for Mt Pleasant Investment Properties Commercial Development -Lincoln and Remus, ICTC has no issue with the project.



**Rick Collins | Executive Director**  
2100 E. Transportation Dr | Mt. Pleasant, MI 48858  
Phone 989.773.6766 | Fax 989.773.1873  
[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)  
Visit our website at [ictcbus.com](http://ictcbus.com)



**Mount Pleasant Fire Department  
804 E. High Street  
Mount Pleasant, Mi 48858**

**Union Township Site Plan Review**

Friday June 2, 2017

McGuirk Sand & Gravel

S Lincoln RD  
Lincoln & Remus Rd.  
Mt. Pleasant, MI 48858

A Site Plan Review was conducted on Friday June 2, 2017 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

---

**Violation Code**

---

1 PROPERTY Identification

Proposed Project at Lincoln and Remus Rd.  
Mini Storage  
Trucking/Office Facility

Print Received 6/1/17  
Job# 1704-062

---

ACCESS AND WATER Road and Water Supply

When fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with Section 505.2 of the 2012 Edition of the International Fire Code.

---

ACCESS ROAD 150 FT Buildings within 150ft of Access Road

All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.



## Union Township Site Plan Review

Site Plan meets requirements.

---

### ACCESS ROAD LOAD Designed and Maintained to Support the

All fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities in accordance with Chapter 5, Sections 503.2.3 and 503.4 of the 2012 Edition of the International Fire Code.

---

### ACCESS ROAD OBSTRUCTED Dimensions and Clearances

All fire apparatus access roads, including parking lots, shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches in accordance with Chapter 5, Sections 503.2.1, 503.2.2, 503.3 and 503.4 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(D)

Site Plan meets requirements.

---

### ACCESS ROAD W/HYDRANT Width of Road with a Fire Hydrant

Where a fire hydrant is located on a fire department apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders as in accordance with Appendix D, Section D103.1 of the 2012 Edition of the International Fire Code.

Site Plan meets requirements.

---

### BUILDING IDENTIFICATION Buildings Shall Have Address

Provide address identification numbers in accordance with Chapter 5, Sections 505.1 of the 2012 Edition of the International Fire Code or applicable to the City of Mt. Pleasant code of ordinances 150.01 Land Usage.

---

### DUMPSTERS Dumpster Locations

Dumpster's and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines in accordance with Chapter 3, Section 304, and 304.3.3 of the 2012 Edition of the International Fire Code.

Site Plan meets requirements.

---

### FDC HORN STROBE Horn Strobe Above FDC

Provide a horn strobe above the Fire Department Connection. Fire Prevention Ordinance 93.12(A)

---

## Union Township Site Plan Review

### FDC LOCATION FDC Location and Distance

Fire Department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the fire chief. The fire department connection shall be located within 150 feet of a fire hydrant, in accordance with Chapter 9, Section 912.2.1 of the 2012 Edition of the International Fire Code and the Fire Prevention Ordinance 93.12 Provide a 5" Storz Fire Department Connection with a 30 degree downturn.

Site Plan meets requirements, approved as shown on amended print.

---

### FDC MAINTENANCE FDC Maintained and Unobstructed

Immediate access to fire department connections shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other fixed or moveable object. Access to fire department connections shall be approved by the fire chief as in accordance with Chapter 9, Section 912.3 of the 2012 Edition of the International Fire Code.

---

### HYDRANT CLEARANCE 3 ft Space Around Hydrants

A 3 foot clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved, in accordance with Chapter 5, Section 507.5.5 of the 2012 Edition of the International Fire Code.

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### HYDRANTS GUARDS Hydrants Subject to Impact

Where fire hydrants are subject to impact by a motor vehicle, guard posts or other approved means shall be provided in accordance with Chapter 5, Section 507.5.6 and with Section 312 of the 2012 Edition of the International Fire Code.

Provide bollards where hydrants are subject to impact.

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### HYDRANT DISTANCE Hydrant maximum distance from buildings

Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m). 2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).

Site Plan meets requirements.

## Union Township Site Plan Review

### KNOX BOX Knox Box Requirements and Location

Provide a Knox Key entry device and install it in approved location by the Fire Code Official, as in accordance with Chapter 5, Section 506.1, 506.1.1 and 506.2 of the 2012 Edition of the International Fire Code. (Go to Knoxbox.com and search by fire department or zip code - select "Mt. Pleasant Fire Department" and place order for the type of Knox box desired.)

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### WATER SUPPLY (GPM) Capable of Supplying the Required Fire

Provide fire hydrants capable of supplying the required fire flow in accordance with Chapter 5, Section 507 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code. (Contact Fire Department to verify locations.)

Site Plan meets requirements.  
See attached hydrant work sheet!

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### WATER SUPPLY (SPACING) Number and Spacing of Hydrants

Provide fire hydrant locations in accordance with Chapter 5, Section 507.5.1 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code.

Site Plan meets requirements, approved as shown on amended print.

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### GENERAL STATEMENT List Not All-Inclusive

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

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Keeler, Randy  
Lieutenant  
Mount Pleasant Fire Department

**S**am**B**er **E**ngineering

Bruce Rohrer P.E.  
957 Morey Drive  
Mt. Pleasant, Michigan 48858  
(989) 330-2150

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June 6, 2017

Peter Galliant  
Union Township Planner  
2010 S. Lincoln Road  
Mt. Pleasant, MI 48858

RE: Storm Water Management Plan for Mt. Pleasant Investment Properties – Lincoln & Remus Rd.

Dear Mr. Galliant:

I have reviewed the Storm Water Management Plan dated 06-06-17 prepared by Tim Bebee of CMS & D Surveying & Engineering for the above captioned project located in part of the NE1/4 of Section 20, Union Township. This is a 17.63-acre site proposed for Commercial development. The proposed plan is consistent with the Union Township Storm Water Ordinance. Mr. Bebee has designed the detention ponds to accommodate a 100-yr. storm event, exceeding the required 25-year event.

If you have any questions or need any further information, please feel free to contact me in my office.

Sincerely,



Bruce E. Rohrer, P.E.  
Consulting Engineer  
Isabella County

BER/taw

cc: Tim Beebe  
CMS & D Surveying & Engineering



# CMS & D

SURVEYING/ENGINEERING

510 West Pickard, Mt. Pleasant, MI 48858

Phone: 989-775-0756, Fax: 989-775-5012 Email: info@cms-d.com

May 30, 2017

Attn: Bruce Rohrer, P.E.  
Isabella County Drain Commissioner's Office  
200 North Main Street  
Mt. Pleasant, Michigan 48858

Re: Storm Water Management Plan  
Southwest Corner of Lincoln and Remus  
Union Township, Isabella County, Michigan.

Bruce,

Please find attached to this submittal letter the Site Plan Set, Storm Water Management Plan and calculations for the new development on the parcel located at the Southwest corner of Lincoln Road and Remus Street in Section 20 of Union Township, Isabella County, Michigan. The Site Plan submittal has been sent to Union Township and will be on their June 20, 2016 meeting agenda for the Planning Commission.

The proposed development will have a total of 17.63 acres of land in all. It is currently part of a larger parcel and will be divided off once the site plan has been approved. The proposed plan has 4 major catchment or drainage areas. Each area has been calculated based on its pervious and impervious areas. We have attached the standard spread sheets for the calculation of required storm water detention. You will notice that we have completed the spread sheet for both the 25 year and 100 year storm events.

We have sized the detention areas to hold the 25 year – 24 hour event with +/- 1 foot of freeboard and the detention area will hold the 100 year – 24 hour storm prior to overflow. There are 3 separate detention areas, each having their own Control Structure. The Weir Structure Detail is attached with each detention area's calculations. The calculation for the sizing of the orifice is on these details.

You will find that the attached plans, details and calculations meet the requirements of the Union Township Storm Water Ordinance. Once the site has been developed, as-built drawings will be prepared to show that the site has been built in compliance with the plans.

If you should have any questions regarding this letter, the plans and/or calculations, please do not hesitate to call.

Respectfully submitted,

Central Michigan Surveying and Development Company, Inc.

  
Timothy Bebee  
President

## DETENTION POND DESIGN CALCULATION

Site Location Lincoln & Broomfield Commercial Project  
 Catchment Areas A & B

	Area (Acres)	C		
Hard Surface/Imperv. Area	9.29	0.95	Proposed Runoff "C" Value	0.83 (I)
Gravel	0.00	0.75	Maximum Allowable Outflow (CFS)	1.14 (G)
Green Space/Lawn	2.11	0.30	Storm Recurrence Interval (Yrs)	25
Cont. Drainage Area (Acres)	11.40 (J)			

A	B	C	D	E	F	G	H
Duration (Minutes)	Duration (Hours)	25-Year Total Rainfall (Inches)	25-Year Rainfall Intensity (Inch/Hr)	Proposed Runoff Flow Rate (CFS)	Proposed Runoff Volume (CFT)	Maximum Allowable Outflow (CFS)	Required Detention Storage (CFT)
5	0.08	0.50	6.00	56.75	17,025	1.14	16,683
10	0.17	0.87	5.22	49.37	29,624	1.14	28,940
15	0.25	1.12	4.48	42.37	38,137	1.14	37,111
20	0.33	1.30	3.90	36.89	44,266	1.14	42,898
30	0.50	1.54	3.08	29.13	52,438	1.14	50,386
40	0.67	1.75	2.63	24.83	59,589	1.14	56,853
50	0.83	1.89	2.27	21.45	64,356	1.14	60,936
60	1.00	1.95	1.95	18.44	66,399	1.14	62,295
90	1.50	2.27	1.51	14.31	77,295	1.14	71,139
120	2.00	2.41	1.21	11.40	82,062	1.14	73,854
180	3.00	2.66	0.89	8.39	90,575	1.14	78,263
360	6.00	3.11	0.52	4.90	105,897	1.14	81,273
720	12.00	3.61	0.30	2.85	122,923	1.14	73,675
1080	18.00	3.90	0.22	2.05	132,797	1.14	58,925
1440	24.00	4.15	0.17	1.64	141,310	1.14	42,814

Maximum: 81,273

## RETENTION POND DESIGN CALCULATION

Retain back to back 25-Year 24 Hour Design Storm from the Entire Contributing Area (4.15 Inches of Rainfall)  
**284,975 CFT**

- A) Duration of the storm event in minutes.
- B) Duration of the storm event in hours.
- C) Total amount of rainfall during a 25-year recurrence storm event for the given duration in Column A & B (ref.: midwestern climatological center rainfall Atlas-Bulletin 71).
- D) Average rainfall intensity during the 25-year recurrence storm event. Calculated by dividing Column C by Column B.
- E) The unrestricted 25-year recurrence discharge flow rate from the proposed site under fully developed conditions. Calculated by multiplying Intensity (D) and Drainage Area (L).
- F) The unrestricted storm event for the given duration in Column A and B. Calculated by multiplying the Proposed Runoff Flow Rate (E) by the Storm Duration (A) and by 60 seconds/minute.
- G) The maximum allowable discharge from the site is determined by multiplying the drainage area by 0.15 CFS per acre or if the proposed outlet is restrictive by determining the sites share of the existing outlets capacity on a contributing area basis.
- H) The required retention storage is determined by multiplying the differentiation flow rate (Inflow (E) - Outflow (G), by the corresponding duration (A) and by 60 seconds/minute. The amount of storage required for various storm durations will vary based on rainfall intensity, the size of the drainage area, and the allowable discharge. The maximum volume of storage for the various storm durations will be the required detention storage volume.
- I) Proposed weighted runoff coefficient.
- J) Contributing Drainage to the proposed detention or retention system.

Calculation By: \_\_\_\_\_

Date: \_\_\_\_\_

## STORM BASIN DESIGN

LOCATION: Lincoln & Broomfield  
 PROJECT NAME: McGuirk Mini-Storage and McGuirk Sand-Gravel  
 DESCRIPTION: STORM SYSTEM DESIGN  
 DATE: 26-May-17

### GIVENS:

DESIGN STORM FREQUENCY (yrs) =	100	IMPERVIOUS - PAVED/BUILDING (ac) =	9.29
AVERAGE "C" VALUE =	0.83	SEMI-PERVIOUS (ac) =	0.00
OUTLET DISCHARGE (cfs) =	1.14	IMPERVIOUS - RETENTION PONDS (ac) =	0.00
POND BOTTOM AREA (ac) =	0.00	PERVIOUS - OPEN SPACE (ac) =	2.11
MAXIMUM STORAGE VOLUME (cf) =	103,000	TOTAL SITE AREA (ac) =	11.40

TIME (min)	DESIGN STORM INTENSITY (in/hr)	C x A (ac)	DESIGN STORM DISCHARGE (cfs)	CONTROL DISCHARGE (cfs)	BASIN VOLUME (cf)	BASIN VOLUME (Ac-ft)
10	7.19	9.46	68.01	1.14	40,120	0.9
20	5.06	9.46	47.86	1.14	56,064	1.3
30	3.94	9.46	37.27	1.14	65,028	1.5
40	3.26	9.46	30.83	1.14	71,267	1.6
50	2.80	9.46	26.48	1.14	76,031	1.7
60	2.46	9.46	23.27	1.14	79,660	1.8
120	1.47	9.46	13.90	1.14	91,901	2.1
180	1.08	9.46	10.22	1.14	98,012	2.3
240	0.86	9.46	8.13	1.14	100,718	2.3
300	0.72	9.46	6.81	1.14	102,062	2.3
360	0.62	9.46	5.86	1.14	102,044	2.3
480	0.49	9.46	4.63	1.14	100,646	2.3
600	0.41	9.46	3.88	1.14	98,567	2.3
720	0.35	9.46	3.31	1.14	93,765	2.2
1080	0.25	9.46	2.36	1.14	79,356	1.8
1440	0.20	9.46	1.89	1.14	64,947	1.5

### FIND :

REQUIRED BASIN VOLUME (cf) = 102,062 = 2.3 Ac-ft

SAFTY FACTOR = (POND VOL. REQ'D/VOL. PROVIDED) = 1.01

# DETENTION AREA A + B

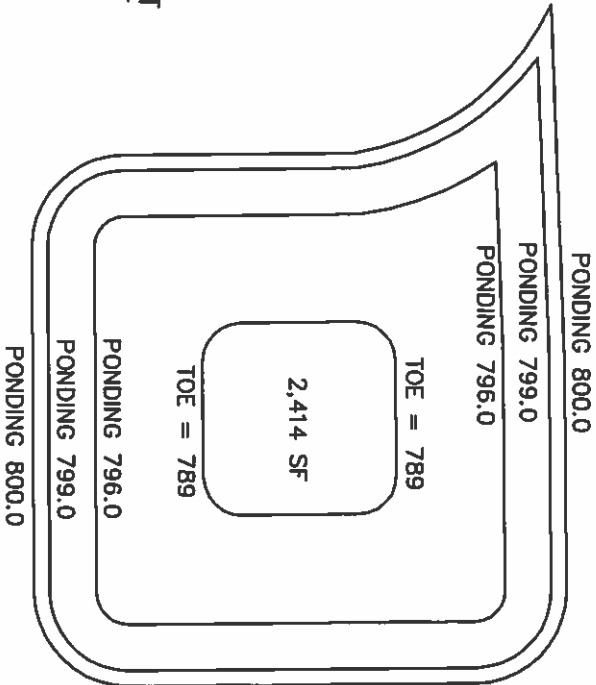
## PROVIDED DETENTION

BOTTOM OF BASIN = 789 CONTOUR  
789 CONTOUR = 2,414 SQFT  
796 CONTOUR = 9,996 SQFT  
799 CONTOUR = 17,088 SQFT  
800 CONTOUR = 19,288 SQFT

VOLUME AT 789 TO 796 CONTOUR = 43,435 CUFT  
VOLUME FROM 796 TO 799 CONTOURS = 40,626 CUFT  
VOLUME FROM 799 TO 800 CONTOURS = 18,188 CUFT

25 YR STORAGE VOLUME REQUIRED = 81,273 CUFT  
25 YR STORAGE OCCURS @ 798.85 CONTOUR

100 YR STORAGE VOLUME REQUIRED = 102,062 CUFT  
100 YR STORAGE VOLUME OCCURS @ 800 CONTOUR

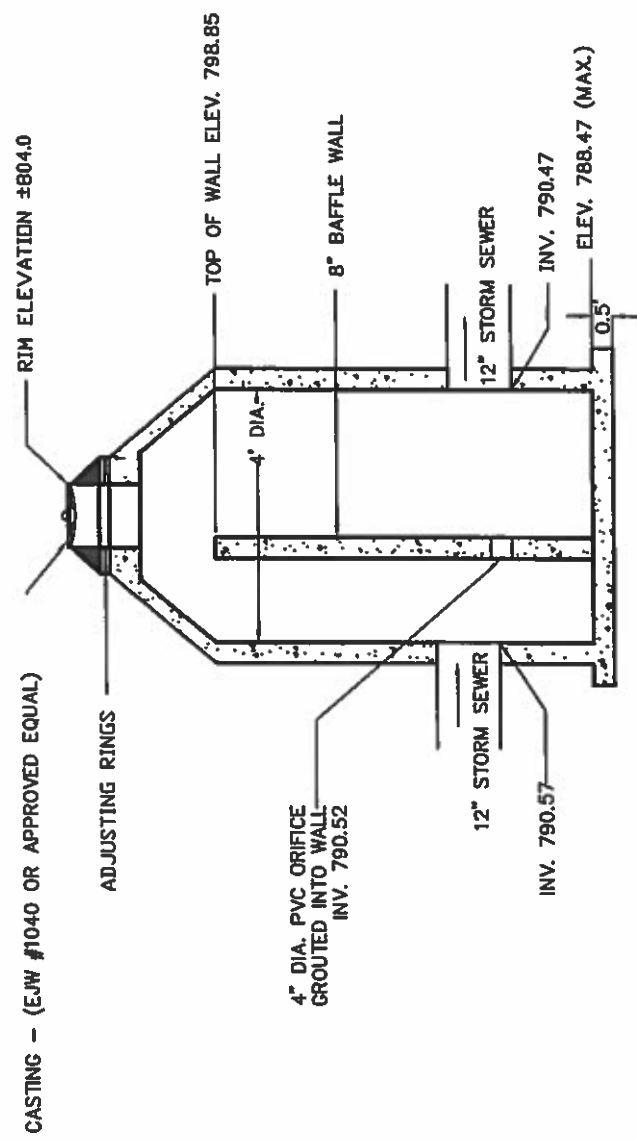




**BAFFLE WALL CONSTRUCTION NOTES**

1. Baffle wall to be constructed of 8" concrete block with smooth-raked joints.
2. Epoxy #4 reinforcing bars into the sidewalls and base of the precast structure at 8" spacing. Bars are to extend across the entire width of the structure.
3. Place #4 reinforcing bars in the baffle wall vertically at 12" spacings. The vertical bars to horizontal bars.
4. Grout-fill all concrete block
5. Coat entire baffle wall with Xypex waterproofing or approved equal.

$Q = 1.14 \text{ CFS} = 0.62 \cdot A \cdot (2gh)^{1/2}$   
 $h = 2/3 \text{ h MAX} = 2/3 \cdot 8.33 \text{ FT} = 5.55 \text{ FT}$   
 $A = 0.0973 \text{ SQFT} = 3.14 \cdot (D)^2/4$   
 $D = 0.352 \text{ FT} = 4.22 \text{ INCH}$   
**USE 4" ORIFICE**



**STORM WATER OVERFLOW STRUCTURE A & B**

NOT TO SCALE

**DETENTION POND DESIGN CALCULATION**

Site Location Lincoln & Broomfield Commercial Project

Catchment Areas C

	Area (Acres)	C		
Hard Surface/Imperv. Area	1.89	0.95		
Gravel	0.00	0.75	Proposed Runoff "C" Value	0.68 (I)
Green Space/Lawn	1.32	0.30	Maximum Allowable Outflow (CFS)	0.32 (G)
Cont. Drainage Area (Acres)	3.21 (J)		Storm Recurrence Interval (Yrs)	25

A	B	C	D	E	F	G	H
Duration (Minutes)	Duration (Hours)	25-Year Total Rainfall (Inches)	25-Year Rainfall Intensity (Inch/Hr)	Proposed Runoff Flow Rate (CFS)	Proposed Runoff Volume (CFT)	Maximum Allowable Outflow (CFS)	Required Detention Storage (CFT)
5	0.08	0.50	6.00	13.15	3,945	0.32	3,849
10	0.17	0.87	5.22	11.44	6,864	0.32	6,672
15	0.25	1.12	4.48	9.82	8,836	0.32	8,548
20	0.33	1.30	3.90	8.55	10,256	0.32	9,872
30	0.50	1.54	3.08	6.75	12,150	0.32	11,574
40	0.67	1.75	2.63	5.75	13,806	0.32	13,038
50	0.83	1.89	2.27	4.97	14,911	0.32	13,951
60	1.00	1.95	1.95	4.27	15,384	0.32	14,232
90	1.50	2.27	1.51	3.32	17,909	0.32	16,181
120	2.00	2.41	1.21	2.64	19,013	0.32	16,709
180	3.00	2.66	0.89	1.94	20,986	0.32	17,530
360	6.00	3.11	0.52	1.14	24,536	0.32	17,624
720	12.00	3.61	0.30	0.66	28,481	0.32	14,657
1080	18.00	3.90	0.22	0.47	30,769	0.32	10,033
1440	24.00	4.15	0.17	0.38	32,741	0.32	5,093

Maximum: 17,624

**RETENTION POND DESIGN CALCULATION**

Retain back to back 25-Year 24 Hour Design Storm from the Entire Contributing Area (4.15 Inches of Rainfall)  
**66,028 CFT**

- A) Duration of the storm event in minutes.
- B) Duration of the storm event in hours.
- C) Total amount of rainfall during a 25-year recurrence storm event for the given duration in Column A & B (ref.: midwestern climatological center rainfall Atlas-Bulletin 71).
- D) Average rainfall intensity during the 25-year recurrence storm event. Calculated by dividing Column C by Column B.
- E) The unrestricted 25-year recurrence discharge flow rate from the proposed site under fully developed conditions. Calculated by multiplying Intensity (D) and Drainage Area (L).
- F) The unrestricted storm event for the given duration in Column A and B. Calculated by multiplying the Proposed Runoff Flow Rate (E) by the Storm Duration (A) and by 60 seconds/minute.
- G) The maximum allowable discharge from the site is determined by multiplying the drainage area by 0.15 CFS per acre or if the proposed outlet is restrictive by determining the sites share of the existing outlets capacity on a contributing area basis.
- H) The required retention storage is determined by multiplying the differention flow rate (Inflow (E) - Outflow (G), by the corresponding duration (A) and by 60 seconds/minute. The amount of storage required for various storm durations will vary based on rainfall intensity, the size of the drainage area, and the allowable discharge. The maximum volume of storage for the various storm durations will be the required detention storage volume.
- I) Proposed weighted runoff coefficient.
- J) Contributing Drainage to the proposed detention or retention system.

Calculation By: \_\_\_\_\_

Date: \_\_\_\_\_

## STORM BASIN DESIGN

LOCATION: Lincoln & Broomfield  
 PROJECT NAME: McGuirk Mini-Storage and McGuirk Sand-Gravel  
 DESCRIPTION: STORM SYSTEM DESIGN - CATCHMENT AREAS C  
 DATE: 26-May-17

### GIVENS:

DESIGN STORM FREQUENCY (yrs) =	100	IMPERVIOUS - PAVED/BUILDING (ac) =	1.89
AVERAGE "C" VALUE =	0.68	SEMI-PERVIOUS (ac) =	0.00
OUTLET DISCHARGE (cfs) =	0.32	IMPERVIOUS - RETENTION PONDS (ac) =	0.00
POND BOTTOM AREA (ac) =	0.00	PERVIOUS - OPEN SPACE (ac) =	1.32
MAXIMUM STORAGE VOLUME (cf) =	23,000	TOTAL SITE AREA (ac) =	3.21

TIME (min)	DESIGN STORM INTENSITY (in/hr)	C x A (ac)	DESIGN STORM DISCHARGE (cfs)	CONTROL DISCHARGE (cfs)	BASIN VOLUME (cf)	BASIN VOLUME (Ac-ft)
10	7.19	2.19	15.76	0.32	9,262	0.2
20	5.06	2.19	11.09	0.32	12,923	0.3
30	3.94	2.19	8.63	0.32	14,966	0.3
40	3.26	2.19	7.14	0.32	16,378	0.4
50	2.80	2.19	6.14	0.32	17,449	0.4
60	2.46	2.19	5.39	0.32	18,256	0.4
120	1.47	2.19	3.22	0.32	20,891	0.5
180	1.08	2.19	2.37	0.32	22,106	0.5
240	0.86	2.19	1.88	0.32	22,532	0.5
300	0.72	2.19	1.58	0.32	22,642	0.5
360	0.62	2.19	1.36	0.32	22,437	0.5
480	0.49	2.19	1.07	0.32	21,710	0.5
600	0.41	2.19	0.90	0.32	20,827	0.5
720	0.35	2.19	0.77	0.32	19,311	0.4
1080	0.25	2.19	0.55	0.32	14,766	0.3
1440	0.20	2.19	0.44	0.32	10,221	0.2

### FIND :

REQUIRED BASIN VOLUME (cf) = 22,642 = 0.5 Ac-ft

SAFTY FACTOR = (POND VOL. REQ'D/VOL. PROVIDED) = 1.02

# DETENTION AREA C

## PROVIDED DETENTION

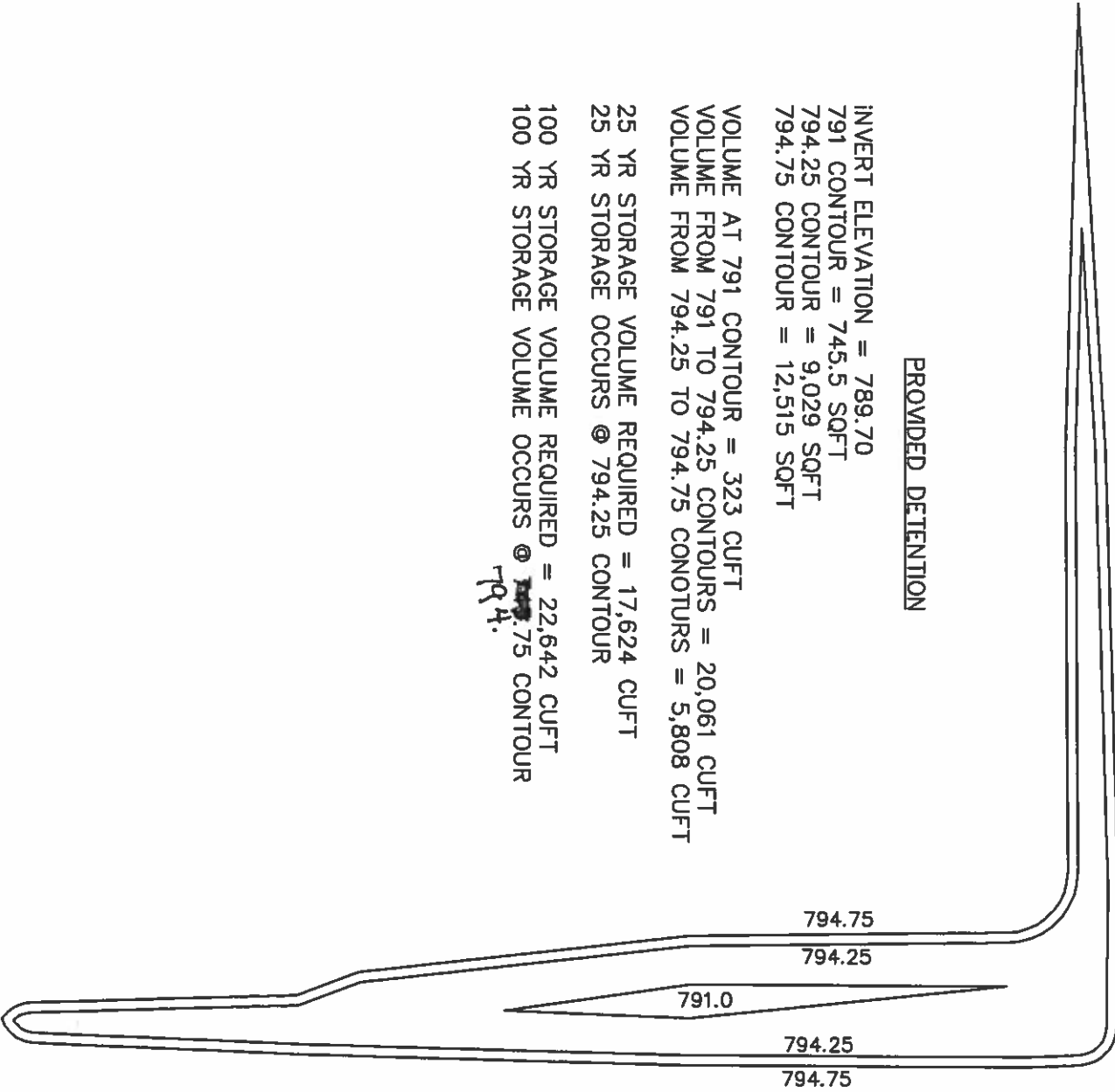
INVERT ELEVATION = 789.70  
791 CONTOUR = 745.5 SQFT  
794.25 CONTOUR = 9,029 SQFT  
794.75 CONTOUR = 12,515 SQFT

VOLUME AT 791 CONTOUR = 323 CUFT  
VOLUME FROM 791 TO 794.25 CONTOURS = 20,061 CUFT  
VOLUME FROM 794.25 TO 794.75 CONTOURS = 5,808 CUFT

25 YR STORAGE VOLUME REQUIRED = 17,624 CUFT  
25 YR STORAGE OCCURS @ 794.25 CONTOUR

100 YR STORAGE VOLUME REQUIRED = 22,642 CUFT  
100 YR STORAGE VOLUME OCCURS @ ~~794.25~~ 794.75 CONTOUR

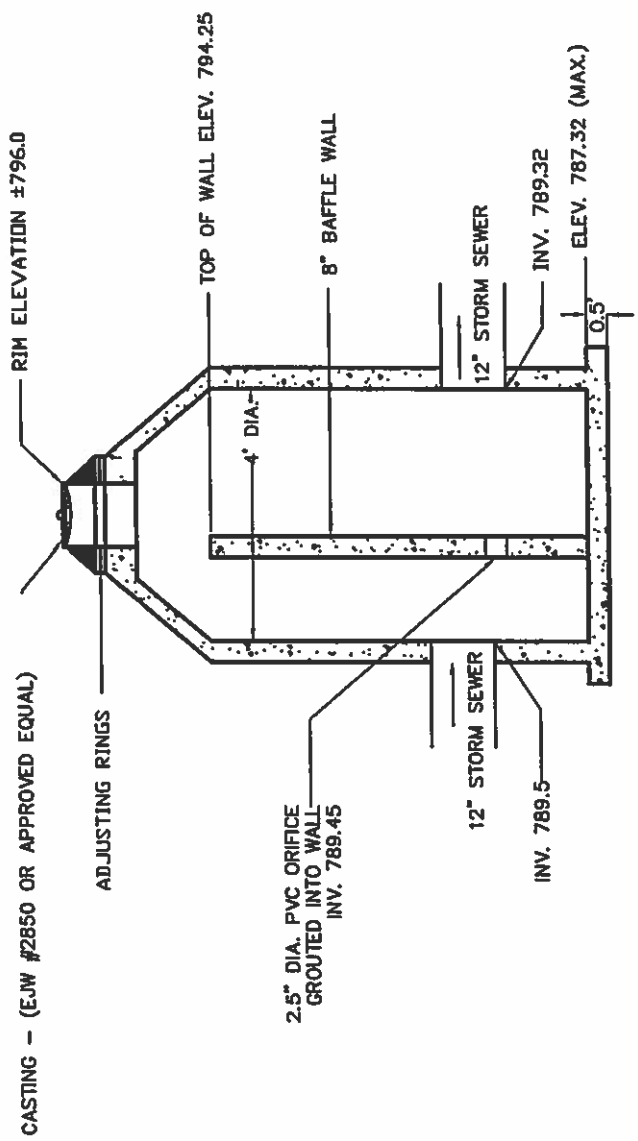
794.



**BAFFLE WALL CONSTRUCTION NOTES**

1. Baffle wall to be constructed of 8" concrete block with smooth-raked joints.
2. Epoxy #4 reinforcing bars into the sidewalls and base of the precast structure at 8" spacing. Bars are to extend across the entire width of the structure.
3. Place #4 reinforcing bars in the baffle wall vertically at 12" spacings. The vertical bars to horizontal bars.
4. Grout-fill all concrete block
5. Coat entire baffle wall with Xypex waterproofing or approved equal.

$Q = 0.32 \text{ CFS} = 0.62 \cdot A \cdot (2gh)^{1/2}$   
 $h = 2/3 \text{ h MAX} = 2/3 \cdot 4.8 \text{ FT} = 3.2 \text{ FT}$   
 $A = 0.0360 \text{ SQFT} = 3.14 \cdot (D)^2/4$   
 $D = 0.214 \text{ FT} = 2.56 \text{ INCH}$   
**USE 2.5" ORIFICE**



**STORM WATER OVERFLOW STRUCTURE C**

NOT TO SCALE

## DETENTION POND DESIGN CALCULATION

Site Location Lincoln & Broomfield Commercial Project

Catchment Areas D

	Area (Acres)	C		
Hard Surface/Imperv. Area	1.67	0.95		
Gravel	0.00	0.75	Proposed Runoff "C" Value	0.66 (I)
Green Space/Lawn	1.35	0.30	Maximum Allowable Outflow (CFS)	0.30 (G)
Cont. Drainage Area (Acres)	3.02 (J)		Storm Recurrence Interval (Yrs)	25

A	B	C	D	E	F	G	H
Duration (Minutes)	Duration (Hours)	25-Year Total Rainfall (Inches)	25-Year Rainfall Intensity (Inch/Hr)	Proposed Runoff Flow Rate (CFS)	Proposed Runoff Volume (CFT)	Maximum Allowable Outflow (CFS)	Required Detention Storage (CFT)
5	0.08	0.50	6.00	11.95	3,585	0.30	3,495
10	0.17	0.87	5.22	10.40	6,237	0.30	6,057
15	0.25	1.12	4.48	8.92	8,030	0.30	7,760
20	0.33	1.30	3.90	7.77	9,320	0.30	8,960
30	0.50	1.54	3.08	6.13	11,041	0.30	10,501
40	0.67	1.75	2.63	5.23	12,546	0.30	11,826
50	0.83	1.89	2.27	4.52	13,550	0.30	12,650
60	1.00	1.95	1.95	3.88	13,980	0.30	12,900
90	1.50	2.27	1.51	3.01	16,275	0.30	14,655
120	2.00	2.41	1.21	2.40	17,278	0.30	15,118
180	3.00	2.66	0.89	1.77	19,071	0.30	15,831
360	6.00	3.11	0.52	1.03	22,297	0.30	15,817
720	12.00	3.61	0.30	0.60	25,882	0.30	12,922
1080	18.00	3.90	0.22	0.43	27,961	0.30	8,521
1440	24.00	4.15	0.17	0.34	29,753	0.30	3,833

Maximum: 15,831

## RETENTION POND DESIGN CALCULATION

Retain back to back 25-Year 24 Hour Design Storm from the Entire Contributing Area (4.15 Inches of Rainfall)  
60,002 CFT

- A) Duration of the storm event in minutes.
- B) Duration of the storm event in hours.
- C) Total amount of rainfall during a 25-year recurrence storm event for the given duration in Column A & B (ref.: midwestern climatological center rainfall Atlas-Bulletin 71).
- D) Average rainfall intensity during the 25-year recurrence storm event. Calculated by dividing Column C by Column B.
- E) The unrestricted 25-year recurrence discharge flow rate from the proposed site under fully developed conditions. Calculated by multiplying Intensity (D) and Drainage Area (L).
- F) The unrestricted storm event for the given duration in Column A and B. Calculated by multiplying the Proposed Runoff Flow Rate (E) by the Storm Duration (A) and by 60 seconds/minute.
- G) The maximum allowable discharge from the site is determined by multiplying the drainage area by 0.15 CFS per acre or if the proposed outlet is restrictive by determining the sites share of the existing outlets capacity on a contributing area basis.
- H) The required retention storage is determined by multiplying the difference flow rate (Inflow (E) - Outflow (G)), by the corresponding duration (A) and by 60 seconds/minute. The amount of storage required for various storm durations will vary based on rainfall intensity, the size of the drainage area, and the allowable discharge. The maximum volume of storage for the various storm durations will be the required detention storage volume.
- I) Proposed weighted runoff coefficient.
- J) Contributing Drainage to the proposed detention or retention system.

Calculation By: \_\_\_\_\_

Date: \_\_\_\_\_

## STORM BASIN DESIGN

LOCATION: Lincoln & Broomfield  
 PROJECT NAME: McGuirk Mini-Storage and McGuirk Sand-Gravel  
 DESCRIPTION: STORM SYSTEM DESIGN - CATCHMENT AREAS D  
 DATE: 26-May-17

### GIVENS:

DESIGN STORM FREQUENCY (yrs) =	100	IMPERVIOUS - PAVED/BUILDING (ac) =	1.67
AVERAGE "C" VALUE =	0.66	SEMI-PERVIOUS (ac) =	0.00
OUTLET DISCHARGE (cfs) =	0.30	IMPERVIOUS - RETENTION PONDS (ac) =	0.00
POND BOTTOM AREA (ac) =	0.00	PERVIOUS - OPEN SPACE (ac) =	1.35
MAXIMUM STORAGE VOLUME (cf) =	21,000	TOTAL SITE AREA (ac) =	3.02

TIME (min)	DESIGN STORM INTENSITY (in/hr)	C x A (ac)	DESIGN STORM DISCHARGE (cfs)	CONTROL DISCHARGE (cfs)	BASIN VOLUME (cf)	BASIN VOLUME (Ac-ft)
10	7.19	1.99	14.32	0.30	8,411	0.2
20	5.06	1.99	10.08	0.30	11,732	0.3
30	3.94	1.99	7.85	0.30	13,584	0.3
40	3.26	1.99	6.49	0.30	14,861	0.3
50	2.80	1.99	5.58	0.30	15,829	0.4
60	2.46	1.99	4.90	0.30	16,557	0.4
120	1.47	1.99	2.93	0.30	18,918	0.4
180	1.08	1.99	2.15	0.30	19,989	0.5
240	0.86	1.99	1.71	0.30	20,343	0.5
300	0.72	1.99	1.43	0.30	20,410	0.5
360	0.62	1.99	1.23	0.30	20,190	0.5
480	0.49	1.99	0.98	0.30	19,464	0.4
600	0.41	1.99	0.82	0.30	18,595	0.4
720	0.35	1.99	0.70	0.30	17,151	0.4
1080	0.25	1.99	0.50	0.30	12,822	0.3
1440	0.20	1.99	0.40	0.30	8,493	0.2

### FIND :

REQUIRED BASIN VOLUME (cf) = 20,410 = 0.5 Ac-ft

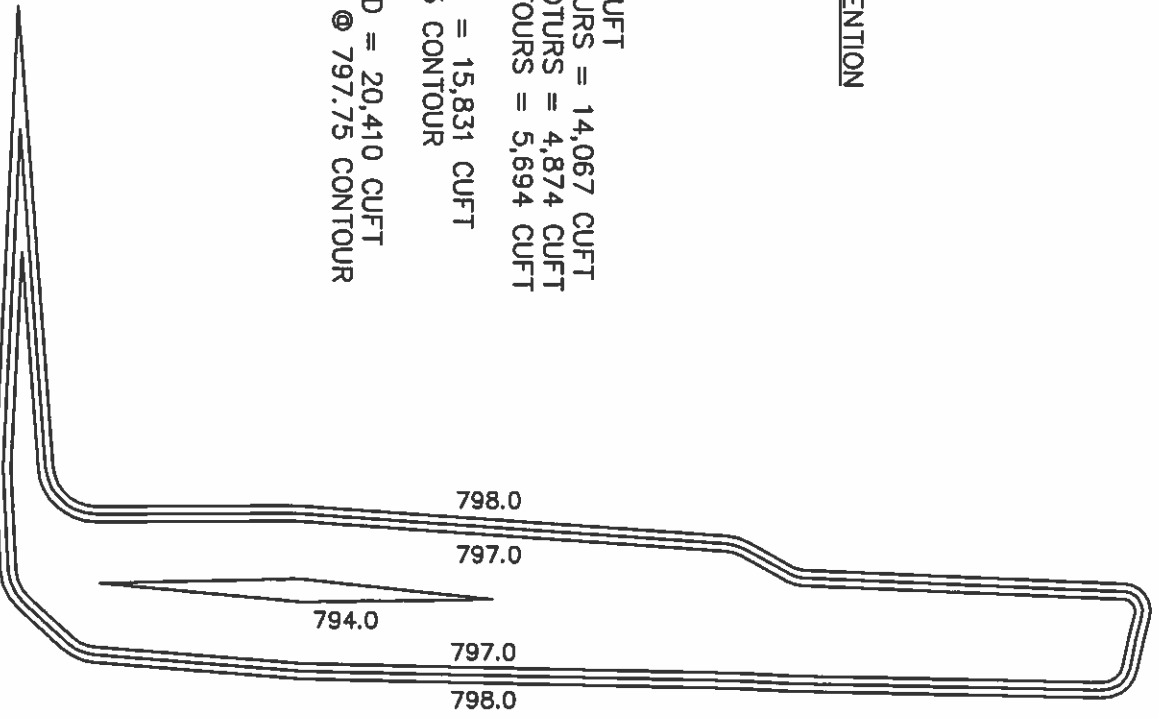
SAFTY FACTOR = (POND VOL. REQ'D/VOL. PROVIDED) = 1.03

# DETENTION AREA D

## PROVIDED DETENTION

INVERT ELEVATION = 793.5  
794 CONTOUR = 414 SQFT  
797 CONTOUR = 8,964 SQFT  
797.5 CONTOUR = 10,533 SQFT  
798 CONTOUR = 12,244 SQFT

VOLUME AT 794 CONTOUR = 69 CUFT  
VOLUME FROM 794 TO 797 CONTOURS = 14,067 CUFT  
VOLUME FROM 797 TO 797.5 CONTOURS = 4,874 CUFT  
VOLUME FROM 797.5 TO 798 CONTOURS = 5,694 CUFT  
25 YR STORAGE VOLUME REQUIRED = 15,831 CUFT  
25 YR STORAGE OCCURS @ 797.35 CONTOUR  
100 YR STORAGE VOLUME REQUIRED = 20,410 CUFT  
100 YR STORAGE VOLUME OCCURS @ 797.75 CONTOUR





- BAFFLE WALL CONSTRUCTION NOTES**
1. Baffle wall to be constructed of 8" concrete block with smooth-raked joints.
  2. Epoxy #4 reinforcing bars into the sidewalls and base of the precast structure at 8" spacing. Bars are to extend across the entire width of the structure.
  3. Place #4 reinforcing bars in the baffle wall vertically at 12" spacings. The vertical bars to horizontal bars.
  4. Grout-fill all concrete block
  5. Coat entire baffle wall with Xypex waterproofing or approved equal.

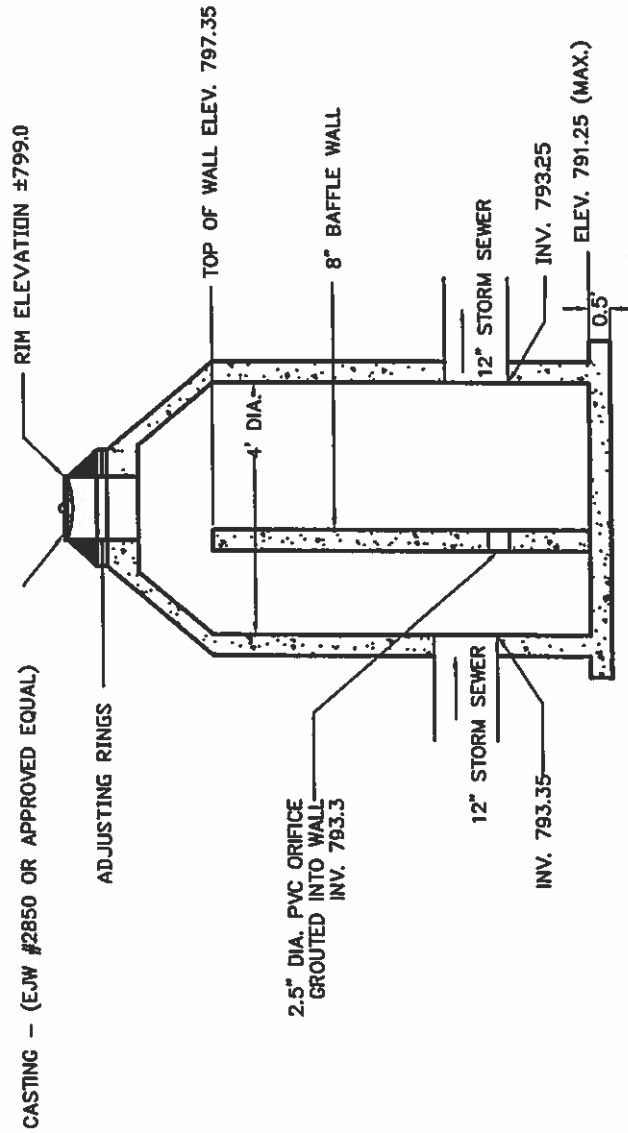
$$Q = 0.30 \text{ CFS} = 0.62 \cdot A \cdot (2gh)^{1/2}$$

$$h = 2/3 \text{ h MAX} = 2/3 \cdot 4.05 \text{ FT} = 2.7 \text{ FT}$$

$$A = 0.0367 \text{ SQFT} = 3.14 \cdot (D)^2/4$$

$$D = 0.216 \text{ FT} = 2.59 \text{ INCH}$$

USE 2.5" ORIFICE



**STORM WATER OVERFLOW STRUCTURE D**

NOT TO SCALE

**Shanee Thayer**

---

**From:** "Burrows, Ben (MDOT)" <Burrowsb@michigan.gov>  
**Date:** Tuesday, June 13, 2017 9:58 AM  
**To:** "Wegener, Brandon (MDOT)" <WegenerB@michigan.gov>; "Loynes, Michael (MDOT)" <LoynesM@michigan.gov>; <PGaffney@isabellaroads.com>; "Timothy Bebee" <tbebee@cms-d.com>  
**Attach:** HPSCANNER0017.pdf; HPSCANNER0018.pdf  
**Subject:** RE: M-20 at Lincoln Road Permit

Tim,

We are waiting for a final review from Lansing however the sight plan you provided looks to meet the requirements we discussed for a driveway and turn lanes. Please move forward with the official permit application once you are closer to construction so we can issue a permit. Any changes required by Lansing can be incorporated in the final set of plans.

Thank you,

Ben Burrows  
Mt. Pleasant TSC  
1212 Corporate Drive  
Mout Pleasant, Mi 48858  
989-775-6104 ext 305

---

**From:** Wegener, Brandon (MDOT)  
**Sent:** Monday, June 12, 2017 4:34 PM  
**To:** Fisher, Mark (MDOT) <FISHERM@michigan.gov>  
**Cc:** Loynes, Michael (MDOT) <LoynesM@michigan.gov>; Burrows, Ben (MDOT) <Burrowsb@michigan.gov>; Hoeh, Dave (MDOT) <HoehD@michigan.gov>  
**Subject:** M-20 at Lincoln Road Permit

Mark,

Please review the attached drawings for a proposed development in the SW quadrant of M-20 at Lincoln Road, west of Mt. Pleasant. We had them work up the drawings to be consistent with GEO-650-series. Along M-20, they are extending the center left turn lane to the west springpoint of their drive, and adding a 250' right turn lane with a 225' taper. Let me know if you see anything we should be concerned about? Thanks,

Brandon Wegener, P.E.  
Traffic and Safety Engineer  
Mt. Pleasant TSC  
1212 Corporate Drive  
Mt. Pleasant, MI 48858  
(989) 775-6104 ext. 307  
[wegenerb@michigan.gov](mailto:wegenerb@michigan.gov)

6/13/2017

**From:** Peter Gallinat  
**Sent:** Monday, June 19, 2017 9:47 AM  
**To:** Jennifer Loveberry  
**Subject:** FW: Lincoln & M20 Development  
**Attachments:** Revised Site Plan Entrance 06-12-2017.pdf

You don't need to print out the attachment. It is the access plan that was added last week.  
Please include this email in Item E with other outside approvals for the project.  
This is further approval from the ICRC/MDOT approval email already in the email.

Thank you,

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
[www.uniontownshipmi.com](http://www.uniontownshipmi.com)

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**From:** Timothy Bebee [<mailto:tbebee@cms-d.com>]  
**Sent:** Monday, June 19, 2017 9:43 AM  
**To:** Peter Gallinat  
**Cc:** [info@cms-d.com](mailto:info@cms-d.com)  
**Subject:** Fw: Lincoln & M20 Development

**From:** [Pat Gaffney](#)  
**Sent:** Monday, June 19, 2017 9:29 AM  
**To:** [tbebee@cms-d.com](mailto:tbebee@cms-d.com)  
**Cc:** [burrowsb@michigan.gov](mailto:burrowsb@michigan.gov) ; [Tony Casali](#)  
**Subject:** Lincoln & M20 Development

Tim,

The revised sight plan you provided looks to meet the requirements we discussed for a driveway on Lincoln Road. A final review of details will be done during the permit process. Any changes required can be incorporated in the final set of plans.

Thank you,

Patrick J. Gaffney, PE  
Engineer Superintendent  
Isabella CRC  
989-773-7131 x115  
989-772-2371 fax  
[pgaffney@isabellaroads.com](mailto:pgaffney@isabellaroads.com)

## Peter Gallinat

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**From:** Kim Smith  
**Sent:** Tuesday, June 06, 2017 4:56 PM  
**To:** Peter Gallinat  
**Cc:** info@cms-d.com; Timothy Bebee  
**Subject:** Mt Pleasant Investment Properties Commercial Development - Lincoln and Remus

Peter,

Good afternoon, I have reviewed the site plan for Mt. Pleasant Investment Properties, located on Remus and Lincoln Road, which was forwarded to me by CMS & D on May 31, 2017. These parcels have water available on the north side of Remus Road and the west side of Lincoln Road and sewer available on the south side of Remus Road. The site plan submitted includes the existing water and sewer mains located on Remus and Lincoln Roads and a proposed location drawing for the onsite water and sewer main. This site plan does not include complete sealed plans and profiles for the water and sewer for this site. Water and sewer plans in accordance with Township Specifications, Ten State Standards, MDEQ Requirements, and Township Ordinances will need to be submitted for review and approval by the Township Public Works Department and the MDEQ if the site plan is approved. Approval of the final water and sewer plans could take up to twelve weeks.

If you have any questions please let me know.

Thank you,

**Kim Smith**



Department of Public Works  
Charter Township of Union  
2010 S. Lincoln Road  
Mt. Pleasant, MI 48858  
Phone (989) 772-4600 ext. 224  
Fax (989) 773-1988  
Visit us on the Web at  
<http://www.uniontownshipmi.com>

**"This institution is an equal opportunity provider, and employer."**

# SITE PLAN FOR COMMERCIAL PROPERTY LINCOLN RD. & E. REMUS RD. (M-20)

B-5 ZONE	
MINIMUM FRONT YARD SETBACK	50 FT (A,B)
MINIMUM SIDE YARD SETBACK	20 FT (B)
MINIMUM REAR YARD SETBACK	25 FT (A,B)
MINIMUM LOT FRONTAGE	100 FT
MINIMUM LOT AREA (SQ FT)	16,000 SQ FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM LOT COVERAGE (%)	30%

- A. OFF-STREET PARKING SHALL BE PERMITTED TO OCCUPY A PORTION OF THE REQUIRED FRONT YARD, PROVIDED THAT THERE SHALL BE MAINTAINED A MINIMUM UNOBSTRUCTED AND LANDSCAPED SETBACK OF TEN (10) FEET BETWEEN THE NEAREST POINT OF THE OFF-STREET PARKING AREAS, EXCLUSIVE OF ACCESS DRIVEWAYS AND THE NEAREST RIGHT-OF-WAY LINE AS INDICATED ON THE MAJOR THOROUGHFARE PLAN.
- B. A LOT IN THE B-5 DISTRICT WILL PROVIDE A SIDE AND REAR YARD OF AT LEAST FORTY (40) FEET WHEN ABUTTING A RESIDENTIAL DISTRICT.

R-3A ZONE	
MINIMUM FRONT YARD SETBACK	35 FT
MINIMUM SIDE YARD SETBACK	30 FT
MINIMUM REAR YARD SETBACK	25 FT
MAXIMUM BUILDING HEIGHT	35 FT (F)
MINIMUM LOT AREA (TWO FAM.)	(G)
MINIMUM LOT AREA (SING. FAM.)	(G)
MINIMUM FLOOR AREA (SING. FAM.)	500 SQ. FT.

- B. MINIMUM FLOOR AREA EXCLUDES PORCHES, GARAGES, BASEMENTS, OR UTILITY AREAS. FOR EACH ADDITIONAL BEDROOM ADD ONE HUNDRED (100) SQUARE FEET.
- F. NO BUILDING OR STRUCTURE SHALL EXCEED A HEIGHT OF THIRTY-FIVE (35) FEET, EXCEPT APARTMENTS MAY BE INCREASED NOT TO EXCEED A MAXIMUM HEIGHT OF SEVENTY (70) FEET; PROVIDED THAT ANY REQUIRED YARD SHALL BE INCREASED BY ONE (1) FOOT FOR EACH IN HEIGHT THE STRUCTURE EXCEEDS THIRTY-FIVE (35) FEET.
- G. MULTI-FAMILY

REQUIRED GROUND PER UNIT, NO. UNITS	R-3A
MINIMUM FRONT YARD SETBACK	4,000 SQ FT
MINIMUM SIDE YARD SETBACK	3,600 SQ FT
MINIMUM REAR YARD SETBACK	3,200 SQ FT
MAXIMUM BUILDING HEIGHT	2,900 SQ FT

**MISS DIG:**  
FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

**UTILITY NOTE:**  
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

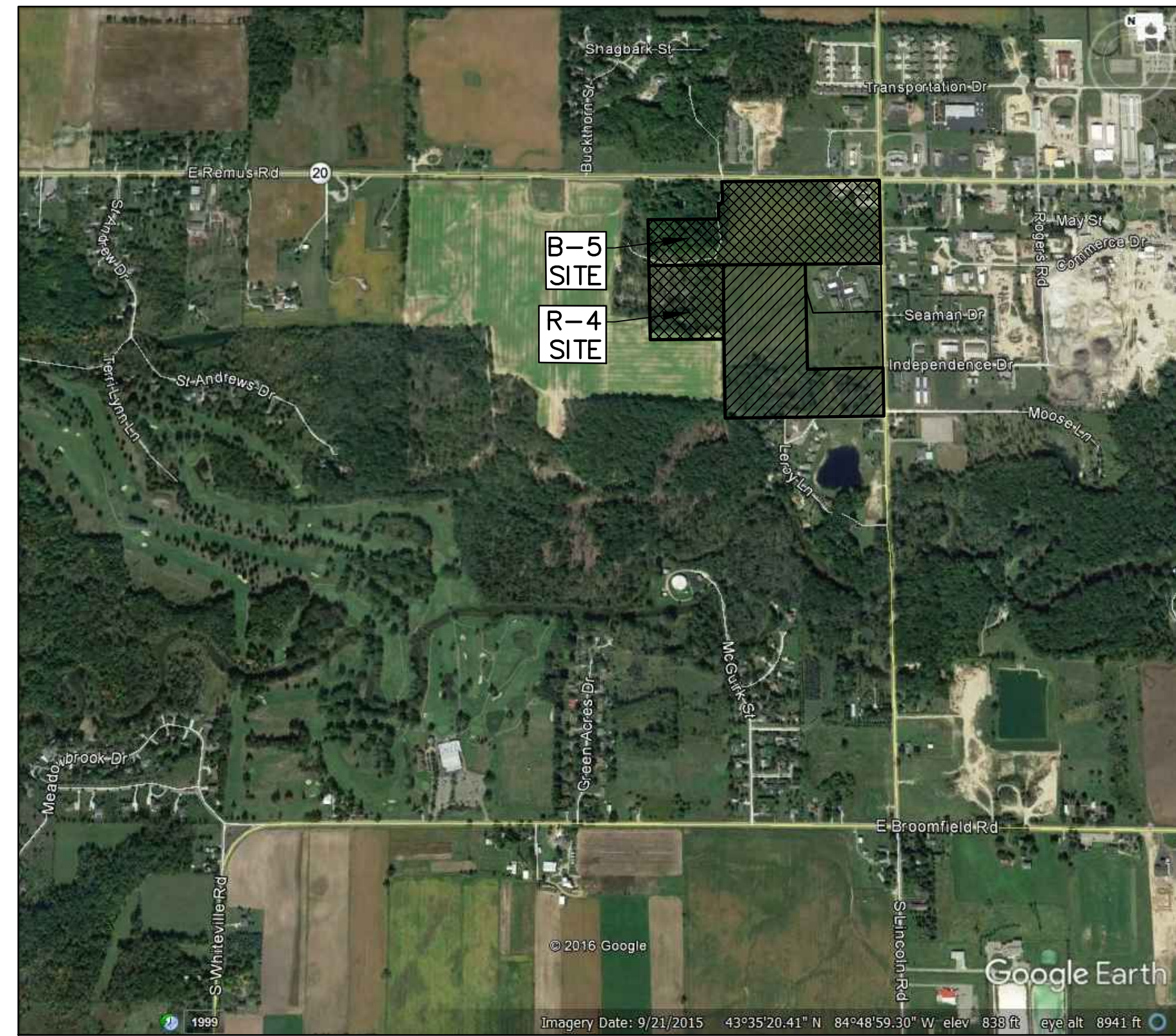
### LEGEND

#### SYMBOLS

	BOLLARD		GAS RISER		SOIL BORING
	CATCH BASIN (CURB INLET)		GUY ANCHOR		STORM SEWER MANHOLE
	CATCH BASIN (ROUND)		HYDRANT - EXISTING		TELEPHONE RISER
	CATCH BASIN (SQUARE)		HYDRANT - PROPOSED		TREE - CONIFEROUS
	CLEAN OUT		LIGHT POLE		TREE - DECIDUOUS
	DRAINAGE FLOW		MAILBOX		UTILITY POLE
	ELECTRICAL BOX		MONITORING WELL		WATER MAIN VALVE
	FOUND CONC. MONUMENT		SANITARY SEWER MANHOLE		WATER SHUT-OFF
	FOUND IRON		SET IRON		WATER WELL
	GAS MAIN VALVE		SIGN		WOOD STAKE

LINETYPES		HATCH PATTERNS	
	ELEC		ASPHALT - EXISTING
	PHONE		ASPHALT - PROPOSED
	DITCH-CL		CONCRETE
	FM		GRAVEL
	GAS		LANDSCAPING
	RD-CL		RIP-RAP
	8" SAN		
	12" SS		
	EX-TOS		
	OHE		
	UTL		
	12" WM		



PART OF THE NORTHEAST 1/4, SECTION 20, T14N-R4W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN  
**LOCATION MAP**  
NOT TO SCALE

**PROPOSED B-5 DEVELOPMENT PARCEL DESCRIPTION:**  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-55'-57"E., PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 1313.60 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 386.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 594.13 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 132.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 34.00 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 182.00 FEET TO A POINT ON SAID NORTH SECTION LINE, THENCE N.89°-42'-08"E., ON AND ALONG SAID NORTH SECTION LINE, 685.44 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 16.68 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

**PROPOSED R-3A DEVELOPMENT PARCEL DESCRIPTION:**  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.00°-55'-57"E., ON AND ALONG THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH THE NORTH LINE OF SAID SECTION, 1327.12 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-39'-12"E., ON AND ALONG SAID EAST 1/8 LINE, 622.35 FEET TO ITS INTERSECTION WITH THE NORTH 1/8 LINE OF SAID SECTION; THENCE S.89°-41'-48"W., ON AND ALONG SAID NORTH 1/8 LINE, 619.03 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 622.41 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 622.03 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 8.87 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

**PROPOSED B-5 SPECIAL USE - SELF STORAGE - PARCEL DESCRIPTION:**  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-55'-57"E., PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 691.56 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION; THENCE N.00°-39'-12"W., ON AND ALONG SAID EAST 1/8 LINE, 385.98 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 29.76 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 132.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 34.00 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 182.00 FEET TO A POINT ON SAID NORTH SECTION LINE, THENCE N.89°-42'-08"E., ON AND ALONG SAID NORTH SECTION LINE, 685.44 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 5.52 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

**PROPOSED B-5 SPECIAL USE - MULTI-USE STRUCTURE - PARCEL DESCRIPTION:**  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-42'-08"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 635.56 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-55'-57"E., PARALLEL WITH THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 691.56 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION; THENCE N.00°-39'-12"W., ON AND ALONG SAID EAST 1/8 LINE, 385.98 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH SAID NORTH SECTION LINE, 29.76 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 132.00 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 34.00 FEET; THENCE N.00°-55'-57"W., PARALLEL WITH SAID EAST SECTION LINE, 182.00 FEET TO A POINT ON SAID NORTH SECTION LINE, THENCE N.89°-42'-08"E., ON AND ALONG SAID NORTH SECTION LINE, 685.44 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 11.16 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

SHEET INDEX	
1	COVER SHEET
2	BOUNDARY - EASEMENT SHEET
3	TOPOGRAPHY SURVEY SHEET (1)
4	TOPOGRAPHY SURVEY SHEET (2)
5	TOPOGRAPHY SURVEY DETAIL SHEET
6	OVERALL SITE PLAN - WEST
7	OVERALL SITE PLAN - EAST
8	OVERALL UTILITY PLAN - WEST
9	OVERALL UTILITY PLAN - EAST
10	OVERALL STORM PLAN - WEST
11	OVERALL STORM PLAN - EAST
12	OVERALL GRADING PLAN - WEST
13	OVERALL GRADING PLAN - EAST

**FLOOD\_ZONE\_CERTIFICATION:**  
A PORTION OF SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF A BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 26073C0305D WITH AN EFFECTIVE DATE OF FEBRUARY 5, 2014 FOR ISABELLA COUNTY, MICHIGAN COMMUNITY NO. 260812 IN UNION CHARTER TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

**BENCHMARKS:**  
**BENCHMARK #1:** FOUND AN ALUMINUM MICHIGAN DEPARTMENT OF TRANSPORTATION HEIGHT MODERNIZATION MARK DISK SET IN THE TOP OF A 12 INCH DIAMETER CONCRETE POST. LOCATION IS AT THE SOUTH EAST CORNER OF THE LINCOLN ROAD AND REMUS ROAD (M-20) INTERSECTION. ELEVATION 786.62

**BEARING BASIS:**  
PER GEODETIC OBSERVATION WGS-84 THE BEARING BETWEEN THE NORTHEAST CORNER AND THE NORTH 1/4 CORNER OF SECTION 20, T14N-R4W WAS DETERMINED TO BE S89°-42'-08"W.

<b>SITE:</b>	SOUTHWEST CORNER OF THE INTERSECTION OF REMUS ROAD (M-20) AND LINCOLN ROAD. MT. PLEASANT, MI 48858
<b>CLIENT:</b>	MT. PLEASANT INVESTMENT PROPERTIES, LLC 2937 ATRIUM DRIVE, SUITE 200 OKEMOS, MI 48864 CONTACT: JOSEPH QUANT PHONE: (231) 947-7901 EXT. 115
<b>CONSULTANT:</b>	CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC. 510 W. PICKARD STREET - SUITE C MT. PLEASANT, MI 48858 CONTACT PERSON: TIMOTHY E BEBEE PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com

<b>CHARTER COMMUNICATIONS</b> 915 E. BROOMFIELD ROAD MT. PLEASANT, MI 48858 (989) 621-4932 RANDY BUNKER rbunker@chartercom.com	<b>CHARTER TOWNSHIP OF UNION</b> PUBLIC WATER/PUBLIC SEWER 2010 N. LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 24 KIM SMITH ksmith@uniontownshipmi.com
<b>CONSUMERS ENERGY</b> 1325 WRIGHT AVENUE ALMA, MI 48801 (989) 466-4282 KIM STUDD kimberly.studd@cmsenergy.com	<b>CHARTER TOWNSHIP OF UNION</b> PLANNING & ZONING 2010 NORTH LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 241 PETER GALLINAT pgallinat@uniontownshipmi.com
<b>FRONTIER</b> 345 PINE STREET ALMA, MI 48801 (989) 463-0392 MARK A. MARSHALL Mark.Marshall@fr.com	<b>DRAIN COMMISSIONERS OFFICE</b> ISABELLA COUNTY BUILDING 200 NORTH MAIN STREET ROOM 140 MT. PLEASANT, MI 48857 (989) 772-0911 RICK JAKUBIEC drain@isabellacounty.org
<b>DTE ENERGY</b> 4420 44TH ST., S.E., SUITE B KENTWOOD, MI 49512 (616) 954-4623 MARY JO MCKERSIE mckersiem@dteenergy.com	<b>ISABELLA COUNTY ROAD COMMISSION</b> 2261 EAST REMUS ROAD MT. PLEASANT, MI 48858 (989) 773-7131 EXT 115 PATRICK GAFFNEY Pgaffney@isabellaroads.com
<b>MT. PLEASANT FIRE DEPARTMENT</b> 804 EAST HIGH STREET MT. PLEASANT, MI 48858 (989) 779-5100 EXT 5122 SGT. RANDY KEELER rkeeler@mt-pleasant.org	

**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com



COVER SHEET  
COVER SHEET INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4,  
SECTION 20, T14N-R4W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:			
SUBMITTAL TO TWP PLANNING COM. 5-30-17			
SUBMITTAL TO TWP PLANNING COM. 6-6-17			
JOB NUMBER: 1704-062	SCALE: N/A	SHEET NUMBER: 1 OF 13	DESIGNED BY: WRE/TELB
DRAWN BY: WRE/TELB			CHECKED BY: TELB

NORTH 1/4 COR.  
SEC. 20, T14N-R4W  
FND. REMON COR.  
PER LCR C L. 2, P. 181

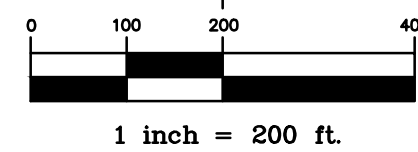
S05'W 71.37' FND. 20d NAIL IN 7" TREE  
N05'E 44.20' FND. N&T IN POWER POLE  
N80'E 154.30' FND. N&T IN POWER POLE  
S45'W 66.79' FND. 20d NAIL IN 4" ASH

WEST 1/4 COR.  
SEC. 20, T14N-R4W  
FND. REMON COR.  
PER LCR C L. 5, P. 87

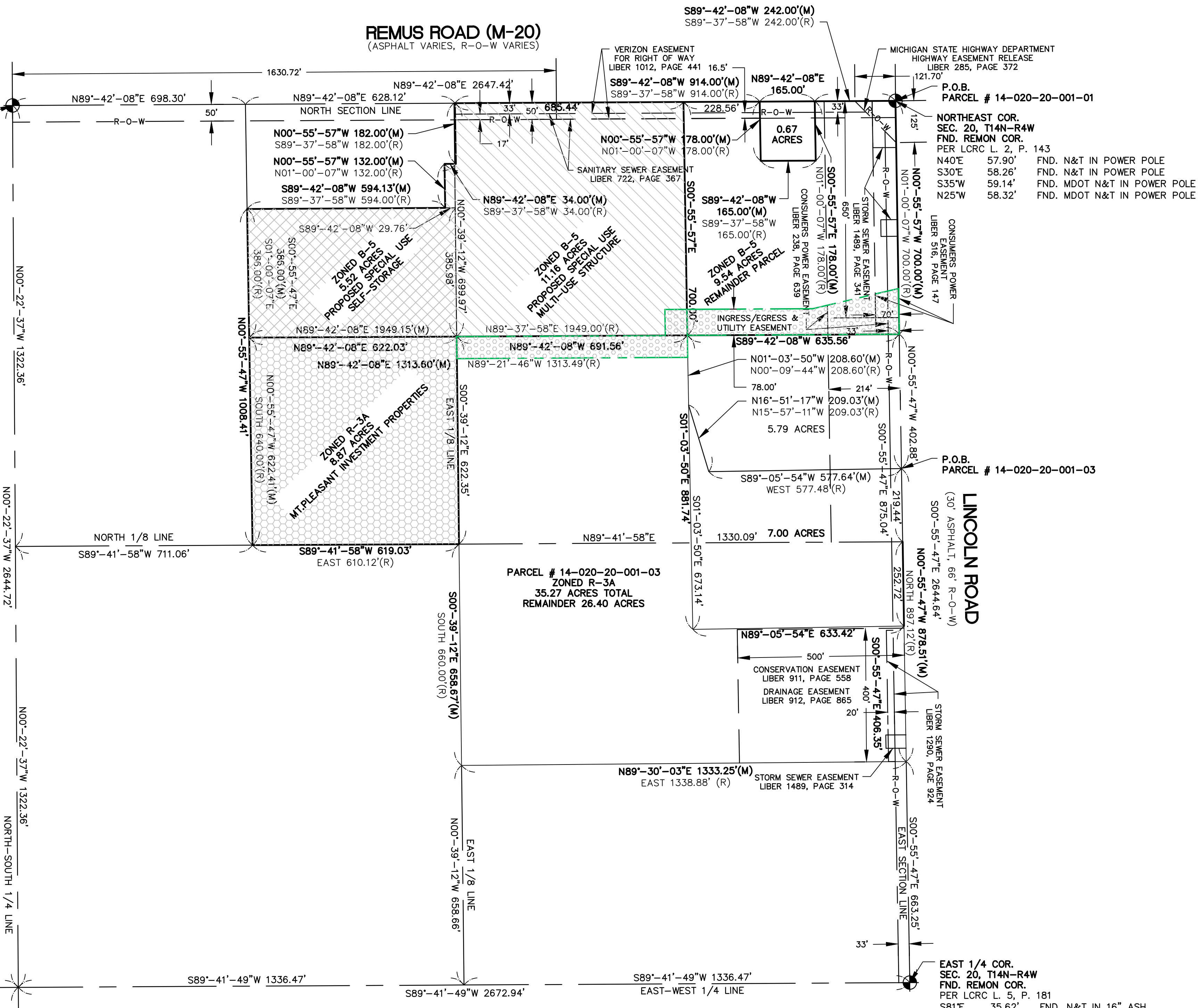
N05'W 5.88' FND. N&T IN 30" OAK  
N75'E 31.40' FND. N&T IN 10" MAPLE  
N60'W 28.79' FND. N&T IN 8" OAK  
S25'W 25.05' FND. N&T IN DEAD 12" OAK

SOUTH 1/4 COR.  
SEC. 20, T14N-R4W  
FND. REMON COR.  
PER LCR C L. 3, P. 249

N29'E 34.58' FND. PK IN POWER POLE  
N69'E 141.47' FND. CONC. MONUMENT  
S20'E 52.75' FND. PK IN POWER POLE  
S70'W 147.58' FND. N&T IN POWER POLE  
N05'W 30.91' S. FACE S. END POST OF CHAIN LINK FENCE



**REMUS ROAD (M-20)**  
(ASPHALT VARIES, R-O-W VARIES)



**NOTE:**  
BEARING BASIS PER GEODETIC  
OBSERVATION WGS-84 THE BEARING  
BETWEEN THE NORTH 1/4 CORNER AND  
THE NORTHEAST CORNER WAS  
DETERMINED TO BE N89°-42'-08"E

**DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 17-11500)**

TOWNSHIP OF UNION, COUNTY OF ISABELLA, STATE OF MICHIGAN.  
PART OF THE NORTH 700.00 FEET OF THE EAST 1949.00 FEET OF SECTION 20, T.14 N.-R.4 W., DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-37'-58"W, ALONG THE NORTH SECTION LINE, 242.00 FEET; THENCE S.01°-00'-07"E, PARALLEL TO THE EAST SECTION LINE, 178.00 FEET; THENCE S.89°-37'-58"W, 165.00 FEET; THENCE S.89°-37'-58"W, 165.00 FEET; THENCE N.01°-00'-07"W, 178.00 FEET TO THE NORTH SECTION LINE; THENCE S.89°-37'-58"W, ALONG SAID NORTH SECTION LINE, 914.00 FEET; THENCE S.01°-00'-07"E, 182.00 FEET; THENCE S.89°-37'-58"W, 34.00 FEET; THENCE S.01°-00'-07"E, 132.00 FEET; THENCE S.89°-37'-58"W, 594.00 FEET; THENCE S.01°-00'-07"E, 386.00 FEET; THENCE N.89°-37'-58"E, 1949.00 FEET TO THE EAST SECTION LINE; THENCE N.01°-00'-07"W, ALONG SAID EAST SECTION LINE, 700.00 FEET BACK TO THE PLACE OF BEGINNING.

**DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 17-11499)**

TOWNSHIP OF UNION, COUNTY OF ISABELLA, STATE OF MICHIGAN.  
COMMENCING 1102.88 FEET SOUTH OF THE NORTHEAST CORNER OF SECTION 20, T.14 N.-R.4 W., THENCE WEST 577.48 FEET; THENCE N.15°-57'-11"W, 209.03 FEET; THENCE N.00°-09'-44"W, 208.60 FEET; THENCE N.89°-21'-46"W, 1313.49 FEET; THENCE SOUTH, 640.00 FEET; THENCE EAST, 610.12 FEET; THENCE SOUTH, 660.00 FEET; THENCE EAST, 1338.88 FEET; THENCE NORTH, 897.12 FEET TO THE POINT OF BEGINNING.

**DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 434271)**

THE WEST 165.00 FEET OF THE EAST 407 FEET OF THE NORTH 178 FEET OF THE NORTHEAST 1/4 OF SECTION 20, T.14 N.-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.  
**AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:**  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N.-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-37'-58"W, ON AND ALONG THE NORTH LINE OF SAID SECTION, 242.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.01°-00'-07"E, PARALLEL WITH THE EAST LINE OF SAID SECTION, 178.00 FEET; THENCE S.89°-37'-58"W, PARALLEL WITH SAID NORTH SECTION LINE, 165.00 FEET; THENCE N.01°-00'-07"W, PARALLEL WITH SAID EAST SECTION LINE, 165.00 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 0.674 ACRES OF LAND.

**EXISTING STRUCTURE TABLE**

<b>EX--STM #1</b>	RIM = 786.71 FLOWLINE N-S 767.26 60" RCP INV. E. 781.90 12" RCP INV. N. 781.93 30" RCP
<b>EX--STM #2</b>	RIM = 777.59 FLOWLINE N-S 767.59 60" RCP INV. E. 771.89 12" RCP INV. W. 771.89 12" RCP
<b>EX--CB #1</b>	RIM 789.42 INV. E. 785.23 18" RCP INV. W. 785.15 18" RCP INV. NW. 786.25 6" N-12
<b>EX--CB #2</b>	RIM 787.26 INV. N. 781.26 24" RCP INV. S. 780.51 30" RCP INV. W. 781.91 18" RCP
<b>EX--CB #3</b>	RIM 785.41 FLOWLINE N-S 768.91 60" RCP INV. E. 779.76 12" RCP INV. N. 778.71 30" RCP
<b>EX--CB #4</b>	RIM 786.78 INV. ESE. 781.28 24" RCP INV. W. 781.08 12" RCP
<b>EX--CB #5</b>	RIM 786.82 INV. SE. 781.33 24" RCP INV. WNW. 781.27 24" RCP
<b>EX--CB #6</b>	RIM 782.35 INV. E. 775.50 12" RCP
<b>EX--CB #7</b>	RIM 782.51 INV. W. 779.11 12" RCP
<b>EX--CB #8</b>	RIM 774.73 INV. E. 768.28 18" RCP INV. W. 768± 15" RCP
<b>EX--CB #9</b>	RIM 774.05 FLOW LINE E-W 761.6 36" RCP

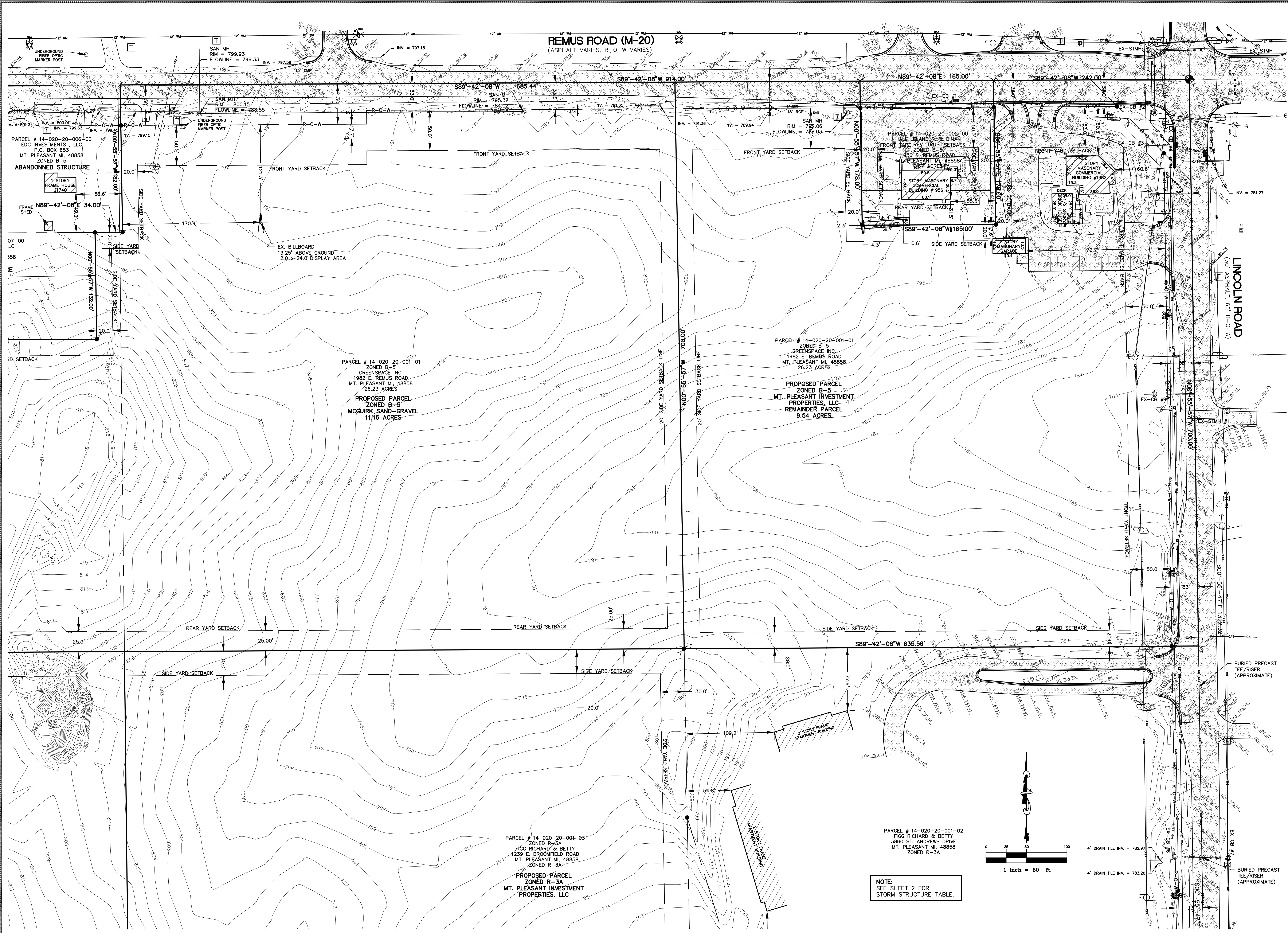
**SCHEDULE B - SECTION 2 EXCEPTIONS TITLE COMMITMENT 17-11499(a) & 17-11500(b) & 434271(c).**

13(a)	EASEMENT AS SET FORTH IN LIBER 1298, PAGE 924, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
13(b)	PERMANENT EASEMENT AS SET FORTH IN LIBER 1489, PAGE 341, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
13(c)	RIGHT OF WAY FOR CONSUMERS POWER COMPANY OVER PART OF CAPTIONED LAND DATED MAY 2, 1949 AND RECORDED DECEMBER 21, 1949 IN LIBER 238, PAGE 639. AS SHOWN ON SURVEY.
14(a)	PERMANENT EASEMENT AS SET FORTH IN LIBER 1489, PAGE 314, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
14(b)	EASEMENT FOR TIGHT-OF-WAY AS SET FORTH IN LIBER 1012, PAGE 441, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
14(c)	EASEMENT GRANTED TO THE STATE OF MICHIGAN OVER PART OF CAPTIONED LAND DATED AUGUST 9, 1944 AND RECORDED AUGUST 29, 1944 IN LIBER 265, PAGE 372. AS SHOWN ON SURVEY.
15(a)	RECIPROCAL USE AGREEMENT AS SET FORTH IN LIBER 912, PAGE 870 ISABELLA COUNTY RECORDS. NOT SHOWN ON SURVEY, DOES NOT AFFECT THE SUBJECT PROPERTY.
15(b)	EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWERS AS SET FORTH IN LIBER 722, PAGE 367, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
16(a)	EASEMENT AS SET FORTH IN LIBER 912, PAGE 865, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
16(b)	EASEMENT AND RIGHT OF WAY IN FAVOR OF CONSUMERS ENERGY, AS SET FORTH IN LIBER 870, PAGE 953, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 862, PAGE 264, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 516, PAGE 147, AS SHOWN ON SURVEY. IN LIBER 238, PAGE 639, AS SHOWN ON SURVEY. AND IN LIBER 185, PAGE 396, EASEMENT RELEASED IN DOCUMENTS RECORDED IN LIBER 870, PAGE 953 AND LIBER 862, PAGE 264, NOT SHOWN ON SURVEY.
17(a)	CONSERVATION EASEMENT AS SET FORTH IN LIBER 911, PAGE 558, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
17(b)	HIGHWAY EASEMENT RELEASE GRANTED TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES, AS SET FORTH IN LIBER 265, PAGE 372. AS SHOWN ON SURVEY.
18(a)	EASEMENT FOR INGRESS AND EGRESS AS SET FORTH IN LIBER 909, PAGE 332, ISABELLA COUNTY RECORDS. NOT SHOWN ON SURVEY, DOES NOT AFFECT SUBJECT PROPERTY.
19(A)	EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWERS AS SET FORTH IN LIBER 722, PAGE 367, ISABELLA COUNTY RECORDS. AS SHOWN ON SURVEY.
20(a)	EASEMENT AND RIGHT OF WAY IN FAVOR OF CONSUMERS ENERGY, AS SET FORTH IN LIBER 870, PAGE 953, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 862, PAGE 264, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 516, PAGE 147, AS SHOWN ON SURVEY. IN LIBER 238, PAGE 639, AS SHOWN ON SURVEY. AND IN LIBER 185, PAGE 396, EASEMENT RELEASED IN DOCUMENTS RECORDED IN LIBER 870, PAGE 953 AND LIBER 862, PAGE 264, NOT SHOWN ON SURVEY.
21(a)	HIGHWAY EASEMENT RELEASE GRANTED TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES, AS SET FORTH IN LIBER 265, PAGE 372. AS SHOWN ON SURVEY.

**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
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FAX: (989) 775-5012  
EMAIL: info@cms-d.com

**BOUNDARY EASEMENT SHEET**  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:			
SUBMITTALS:			
1704-062	1704-062	5-30-17	5-30-17
WRE/TELB	WRE/TELB	6-6-17	6-6-17
DESIGNED BY:	NA		
CHECKED BY:	TELB		
SCALE:	1" = 200'		
SHEET NUMBER:	2	OF 13	



**REMUS ROAD (M-20)**  
(ASPHALT VARIES, R-O-W VARIES)

PARCEL # 14-020-20-006-00  
EDC INVESTMENTS, LLC  
P.O. BOX 663  
MT. PLEASANT MI, 48858  
ZONED B-5  
ABANDONNED STRUCTURE

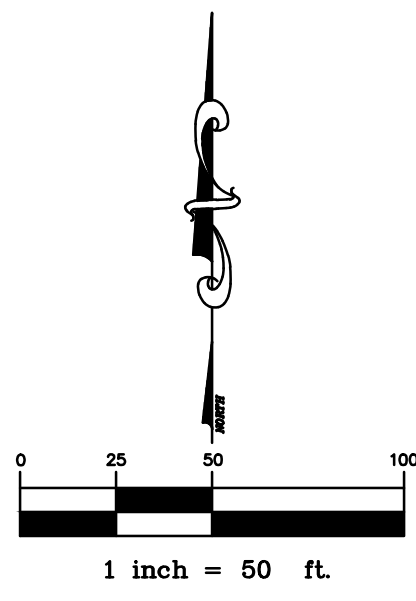
PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES  
  
PROPOSED PARCEL  
ZONED B-5  
MCGUIRK SAND-GRAVEL  
11.16 ACRES

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES  
  
PROPOSED PARCEL  
ZONED B-5  
MT. PLEASANT INVESTMENT  
PROPERTIES, LLC  
REMAINDER PARCEL  
9.54 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A  
  
PROPOSED PARCEL  
ZONED R-3A  
MT. PLEASANT INVESTMENT  
PROPERTIES, LLC

PARCEL # 14-020-20-001-02  
FIGG RICHARD & BETTY  
3860 ST. ANDREWS DRIVE  
MT. PLEASANT MI, 48858  
ZONED R-3A

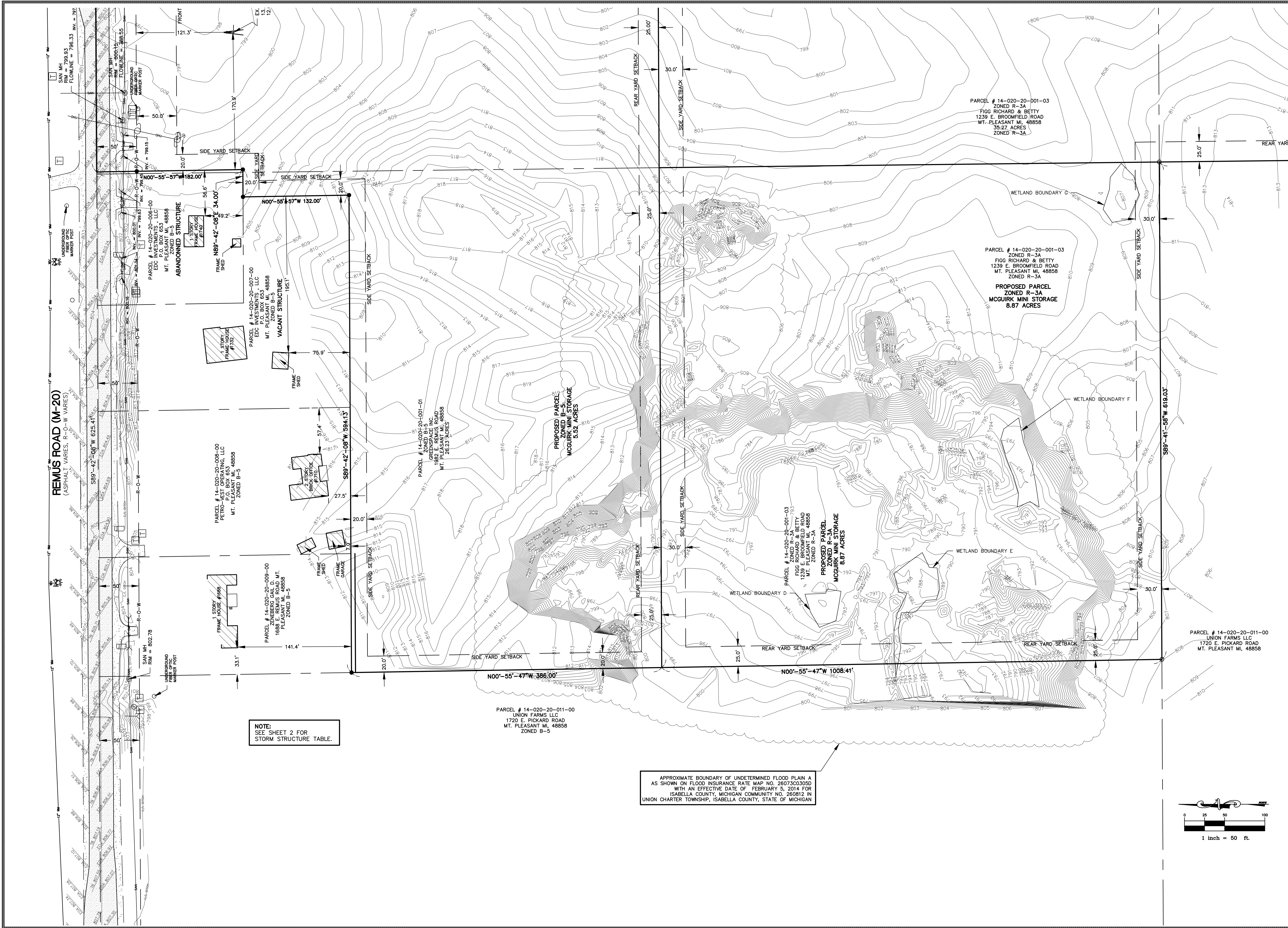
NOTE:  
SEE SHEET 2 FOR  
STORM STRUCTURE TABLE.



REVISIONS:

SUBMITTALS:	5-30-17
SUBMITTAL TO TWP PLANNING COM.	5-30-17
DESIGNED BY:	WRE/TELB
CHECKED BY:	TELB

JOB NUMBER:	1704-062
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB
SCALE:	1" = 50'
SHEET NUMBER:	3 OF 13

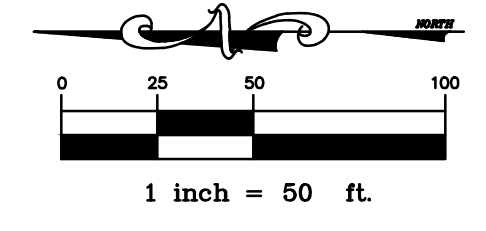


**REMUS ROAD (M-20)**  
(ASPHALT VARIES, R-O-W VARIES)

**NOTE:**  
SEE SHEET 2 FOR  
STORM STRUCTURE TABLE.

PARCEL # 14-020-20-011-00  
UNION FARMS LLC  
1720 E. PICKARD ROAD  
MT. PLEASANT MI, 48858  
ZONED B-5

APPROXIMATE BOUNDARY OF UNDETERMINED FLOOD PLAIN A  
AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 2607300305D  
WITH AN EFFECTIVE DATE OF FEBRUARY 5, 2014 FOR  
ISABELLA COUNTY, MICHIGAN COMMUNITY NO. 260812 IN  
UNION CHARTER TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN



PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
35.27 ACRES  
ZONED R-3A

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A  
**PROPOSED PARCEL**  
ZONED R-3A  
MCGUIRK MINI STORAGE  
8.87 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A  
**PROPOSED PARCEL**  
ZONED R-3A  
MCGUIRK MINI STORAGE  
8.87 ACRES

**PROPOSED PARCEL**  
ZONED B-5  
MCGUIRK MINI STORAGE  
5.52 ACRES

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENHUS ROAD  
198 GREENHUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

PARCEL # 14-020-20-009-00  
ZONED B-5  
ZENBERG GAIL D.  
186 ZENBERG GAIL D.  
PLEASANT MI, 48858

PARCEL # 14-020-20-006-00  
ZONED B-5  
EDCO INVESTMENTS, LLC  
P.O. BOX 653  
MT. PLEASANT MI, 48858

PARCEL # 14-020-20-007-00  
ZONED B-5  
EDCO INVESTMENTS, LLC  
P.O. BOX 653  
MT. PLEASANT MI, 48858

SCALE  
1" = 50'

SHEET NUMBER  
4 of 13

JOB NUMBER  
1704-062

DRAWN BY  
WRE/TELB

DESIGNED BY  
NA

CHECKED BY  
TELB

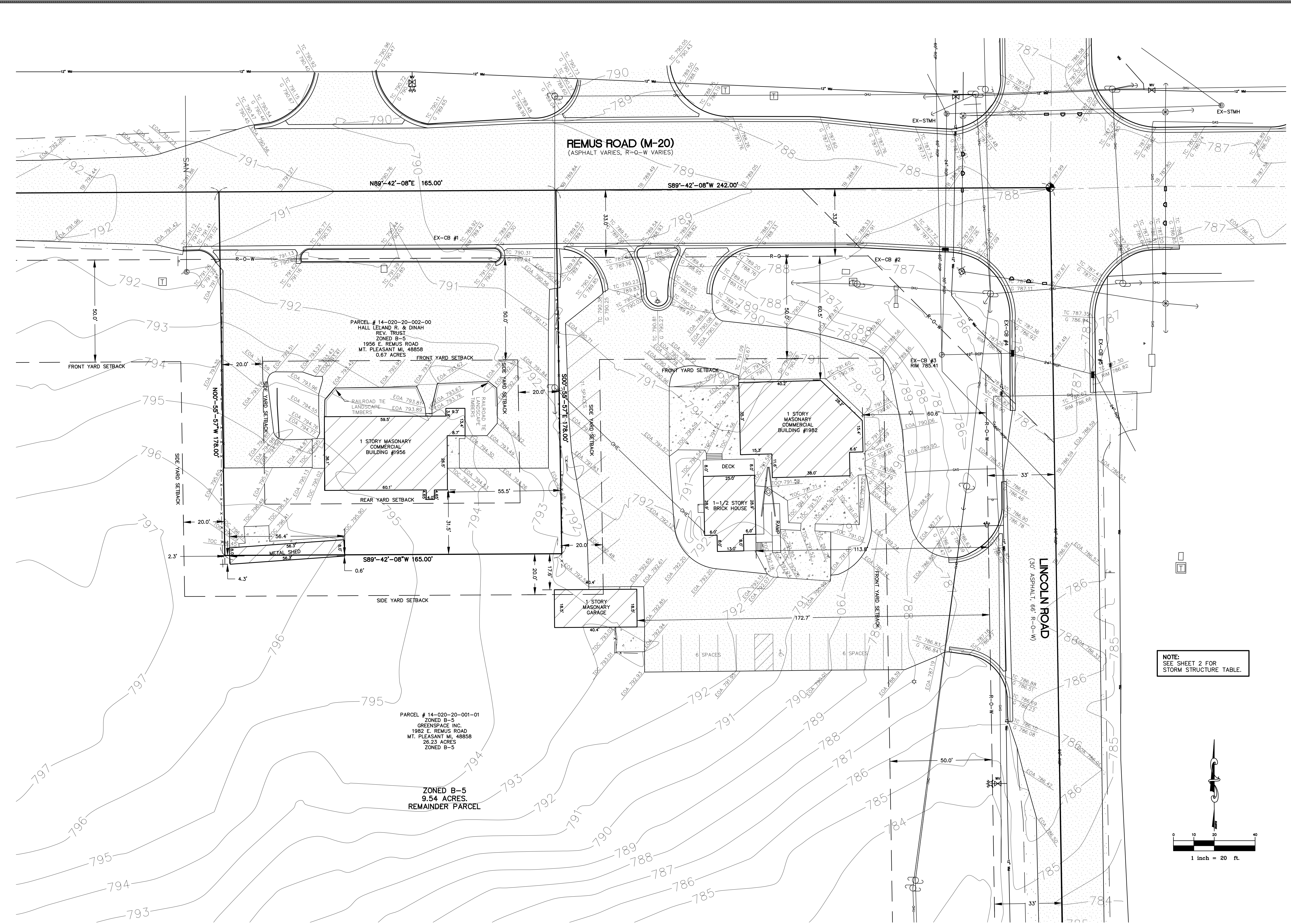
SUBMITTALS:  
SUBMITTAL TO TWP PLANNING COM. 5-30-17  
SUBMITTAL TO TWP PLANNING COM. 6-6-17

REVISIONS:

TOPOGRAPHIC SURVEY SHEET 2  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-0752  
EMAIL: info@cms-d.com





**REMUS ROAD (M-20)**  
(ASPHALT VARIES, R=0-W VARIES)

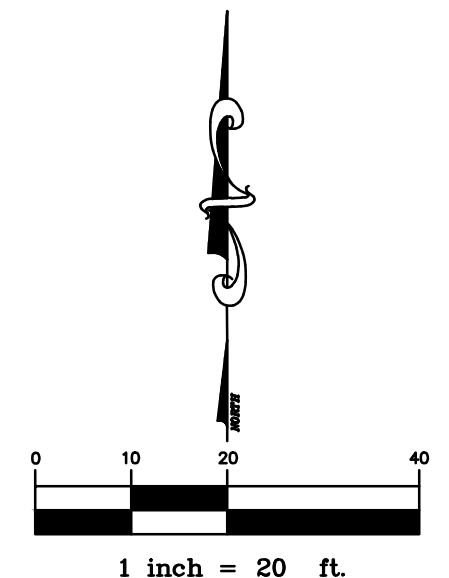
**LINCOLN ROAD**  
(30' ASPHALT, 68' R-O-W)

PARCEL # 14-020-20-002-00  
HALL LELAND R. & DINAH  
REV. TRUST  
ZONED B-5  
1956 E. REMUS ROAD  
MT. PLEASANT MI. 48858  
0.67 ACRES

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI. 48858  
26.23 ACRES  
ZONED B-5

**ZONED B-5**  
9.54 ACRES.  
REMAINDER PARCEL

NOTE:  
SEE SHEET 2 FOR  
STORM STRUCTURE TABLE.



**CMS & D**  
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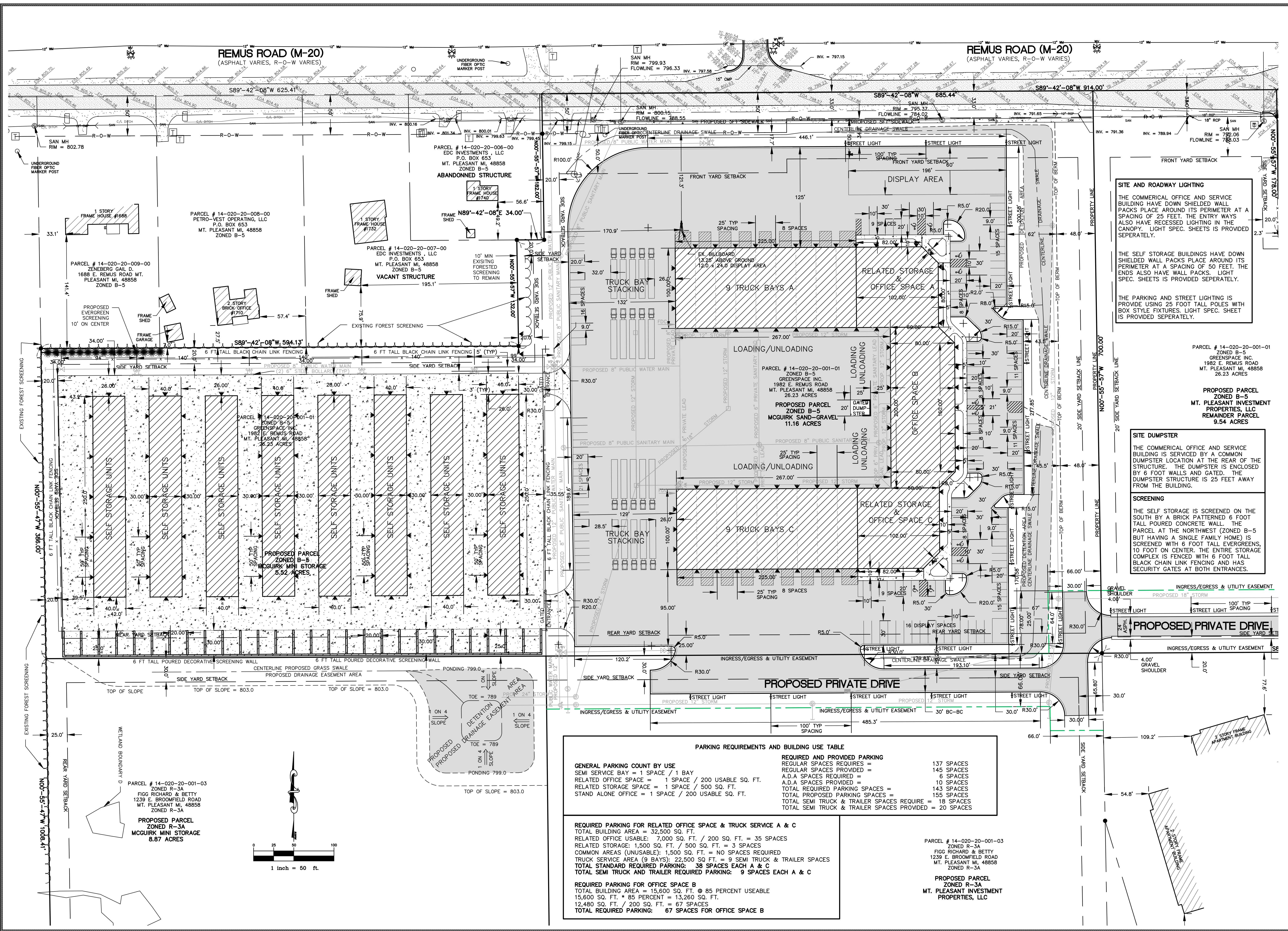


**TOPOGRAPHIC SURVEY DETAIL SHEET**  
**MT. PLEASANT INVESTMENT PROPERTIES, LLC**  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:	SUBMITTAL TO TWP PLANNING COM. 5-30-17
JOB NUMBER:	1704-062
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB

SCALE	1" = 20'
SHEET NUMBER	5 of 13



**SITE AND ROADWAY LIGHTING**

THE COMMERCIAL OFFICE AND SERVICE BUILDING HAVE DOWN SHIELDED WALL PACKS PLACE AROUND ITS PERIMETER AT A SPACING OF 25 FEET. THE ENTRY WAYS ALSO HAVE RECESSED LIGHTING IN THE CANOPY. LIGHT SPEC. SHEETS IS PROVIDED SEPARATELY.

THE SELF STORAGE BUILDINGS HAVE DOWN SHIELDED WALL PACKS PLACE AROUND ITS PERIMETER AT A SPACING OF 50 FEET. THE ENDS ALSO HAVE WALL PACKS. LIGHT SPEC. SHEETS IS PROVIDED SEPARATELY.

THE PARKING AND STREET LIGHTING IS PROVIDE USING 25 FOOT TALL POLES WITH BOX STYLE FIXTURES. LIGHT SPEC. SHEET IS PROVIDED SEPARATELY.

**SITE DUMPSTER**

THE COMMERCIAL OFFICE AND SERVICE BUILDING IS SERVICED BY A COMMON DUMPSTER LOCATION AT THE REAR OF THE STRUCTURE. THE DUMPSTER IS ENCLOSED BY 6 FOOT WALLS AND GATED. THE DUMPSTER STRUCTURE IS 25 FEET AWAY FROM THE BUILDING.

**SCREENING**

THE SELF STORAGE IS SCREENED ON THE SOUTH BY A BRICK PATTERNED 6 FOOT TALL POURED DECORATIVE SCREENING WALL. THE PARCEL AT THE NORTHWEST (ZONED B-5 BUT HAVING A SINGLE FAMILY HOME) IS SCREENED WITH 6 FOOT TALL EVERGREENS, 10 FOOT ON CENTER. THE ENTIRE STORAGE COMPLEX IS FENCED WITH 6 FOOT TALL BLACK CHAIN LINK FENCING AND HAS SECURITY GATES AT BOTH ENTRANCES.

**PARKING REQUIREMENTS AND BUILDING USE TABLE**

GENERAL PARKING COUNT BY USE	REQUIRED AND PROVIDED PARKING	
SEMI SERVICE BAY = 1 SPACE / 1 BAY	REGULAR SPACES REQUIRED =	137 SPACES
RELATED OFFICE SPACE = 1 SPACE / 200 USABLE SQ. FT.	REGULAR SPACES PROVIDED =	143 SPACES
RELATED STORAGE SPACE = 1 SPACE / 500 SQ. FT.	A.D.A SPACES REQUIRED =	9 SPACES
STAND ALONE OFFICE = 1 SPACE / 200 USABLE SQ. FT.	A.D.A SPACES PROVIDED =	10 SPACES
	TOTAL REQUIRED PARKING SPACES =	143 SPACES
	TOTAL PROPOSED PARKING SPACES =	155 SPACES
	TOTAL SEMI TRUCK & TRAILER SPACES REQUIRE =	18 SPACES
	TOTAL SEMI TRUCK & TRAILER SPACES PROVIDED =	20 SPACES

**REQUIRED PARKING FOR RELATED OFFICE SPACE & TRUCK SERVICE A & C**

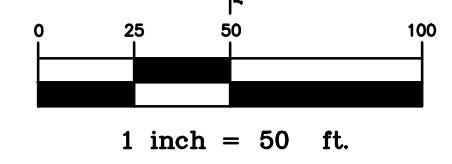
TOTAL BUILDING AREA = 32,500 SQ. FT.  
 RELATED OFFICE USABLE: 7,000 SQ. FT. / 200 SQ. FT. = 35 SPACES  
 RELATED STORAGE: 1,500 SQ. FT. / 500 SQ. FT. = 3 SPACES  
 COMMON AREAS (UNUSABLE): 1,500 SQ. FT. = NO SPACES REQUIRED  
 TRUCK SERVICE AREA (9 BAYS): 22,500 SQ. FT. = 9 SEMI TRUCK & TRAILER SPACES  
 TOTAL STANDARD REQUIRED PARKING: 38 SPACES EACH A & C  
 TOTAL SEMI TRUCK AND TRAILER REQUIRED PARKING: 9 SPACES EACH A & C

**REQUIRED PARKING FOR OFFICE SPACE B**

TOTAL BUILDING AREA = 15,600 SQ. FT. @ 85 PERCENT USEABLE  
 15,600 SQ. FT. \* 85 PERCENT = 13,260 SQ. FT.  
 12,480 SQ. FT. / 200 SQ. FT. = 67 SPACES  
 TOTAL REQUIRED PARKING: 67 SPACES FOR OFFICE SPACE B

PARCEL # 14-020-20-001-03  
 ZONED R-3A  
 FIGG RICHARD & BETTY  
 1239 E. BROOMFIELD ROAD  
 MT. PLEASANT MI, 48858  
 ZONED R-3A

**PROPOSED PARCEL  
 ZONED R-3A  
 MT. PLEASANT INVESTMENT  
 PROPERTIES, LLC**

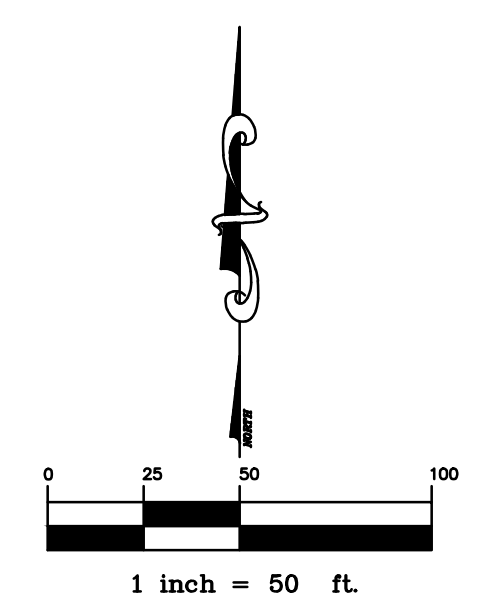
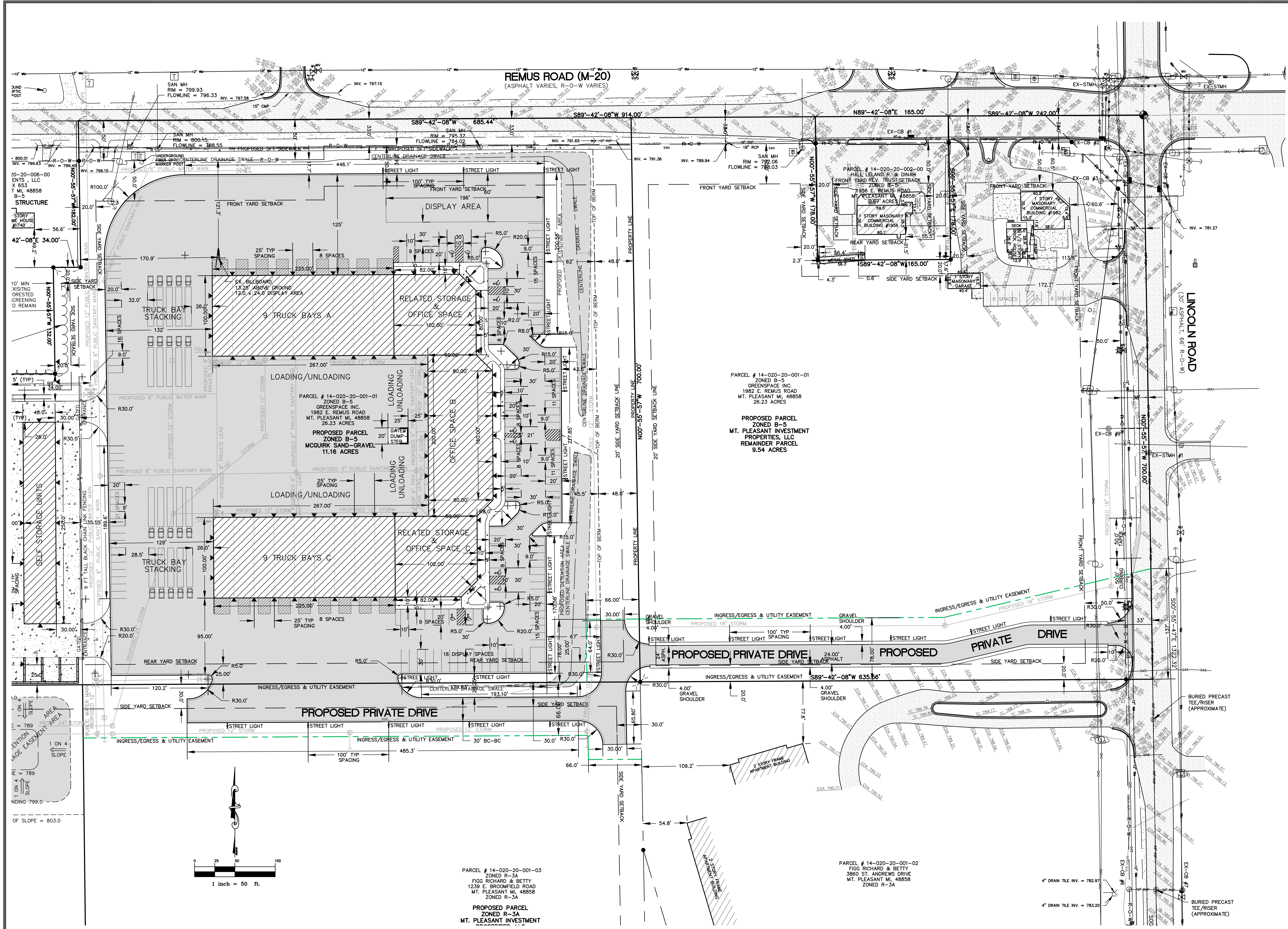


REVISIONS:

NO.	DATE	DESCRIPTION
1	5-30-17	SUBMITTAL TO TWP PLANNING COM.
2	6-6-17	SUBMITTAL TO TWP PLANNING COM.

JOB NUMBER: 1704-062  
 DRAWN BY: WRE/TJLB  
 DESIGNED BY: NA  
 CHECKED BY: TELB

SCALE: 1" = 50'  
 SHEET NUMBER: 6 OF 13



PARCEL # 14-020-20-001-03  
 ZONED R-3A  
 FIGG RICHARD & BETTY  
 1239 E. BROOMFIELD ROAD  
 MT. PLEASANT MI, 48858  
 ZONED R-3A  
 PROPOSED PARCEL  
 ZONED R-3A  
 MT. PLEASANT INVESTMENT

PARCEL # 14-020-20-001-01  
 ZONED B-5  
 GREENSPACE INC.  
 1982 E. REMUS ROAD  
 MT. PLEASANT MI, 48858  
 26.23 ACRES  
 PROPOSED PARCEL  
 ZONED B-5  
 MT. PLEASANT INVESTMENT  
 PROPERTIES, LLC  
 REMAINDER PARCEL  
 9.54 ACRES

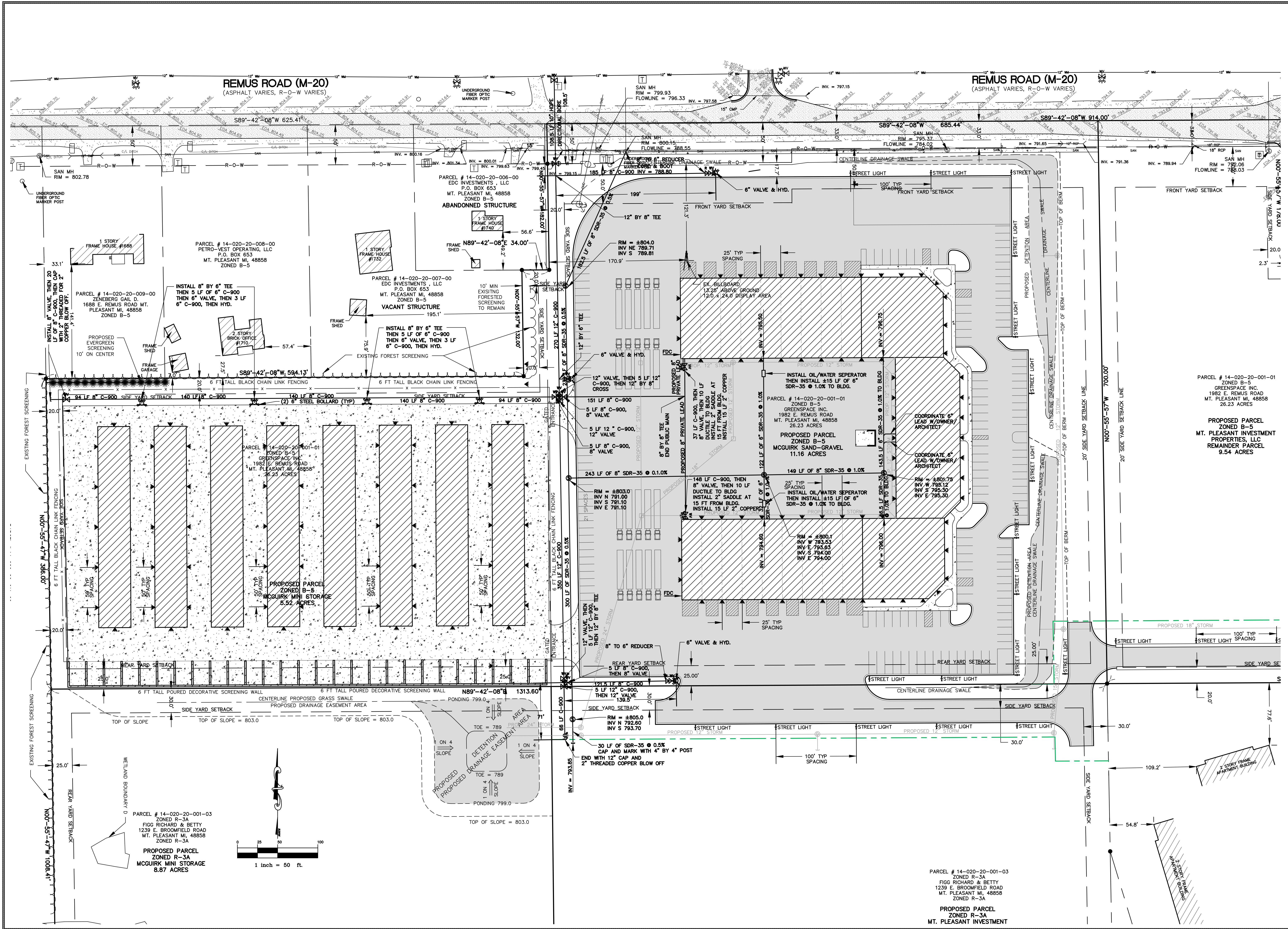
PARCEL # 14-020-20-001-02  
 FIGG RICHARD & BETTY  
 3860 ST. ANDREWS DRIVE  
 MT. PLEASANT MI, 48858  
 ZONED R-3A

**CMS & D**  
 SURVEYING / ENGINEERING  
 510 W. PICKARD STREET - SUITE C  
 MT. PLEASANT, MICHIGAN 48858  
 PHONE: (989) 775-0756  
 FAX: (989) 775-5012  
 EMAIL: info@cms-d.com



**OVERALL SITE PLAN - EAST**  
 MT. PLEASANT INVESTMENT PROPERTIES, LLC  
 PART OF THE NORTHEAST 1/4  
 SECTION 20, T14N-R4W  
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE	JOB NUMBER:	SUBMITTALS:	REVISIONS:
1" = 50'	1704-062	SUBMITTAL TO TWP PLANNING COM. 5-30-17	
SHEET NUMBER	DRAWN BY:	SUBMITTAL TO TWP PLANNING COM. 6-6-17	
7 OF 13	WRE/TELB		
	DESIGNED BY:		
	NA		
	CHECKED BY:		
	TELB		



REVISIONS:

NO. 1	DATE	DESCRIPTION

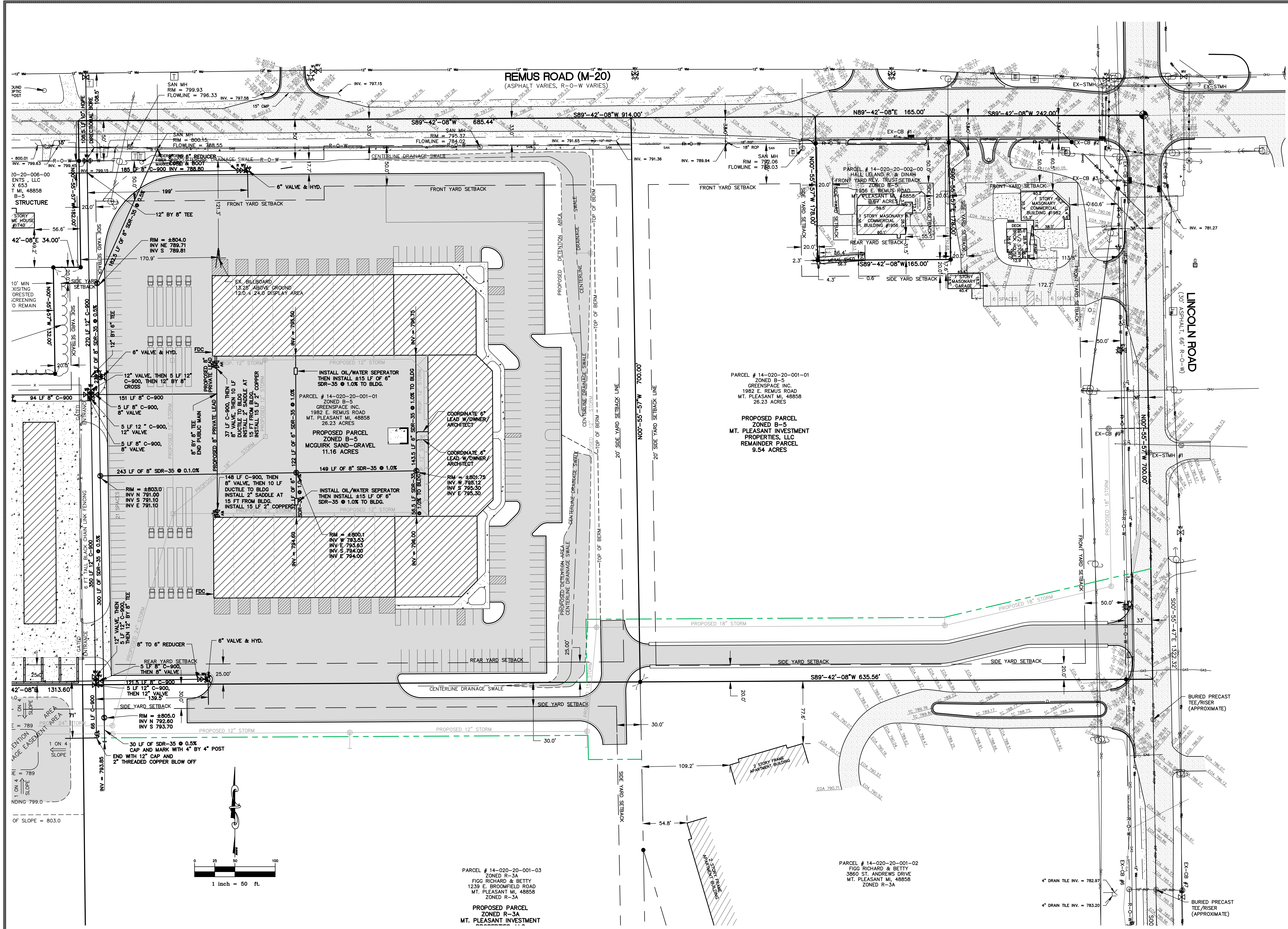
SUBMITTALS:

JOB NUMBER:	1704-062
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB

SCALE: 1" = 50'

SHEET NUMBER: 8 of 13

PARCEL # 14-020-20-001-03  
 ZONED R-3A  
 FIGG RICHARD & BETTY  
 1239 E. BROOMFIELD ROAD  
 MT. PLEASANT MI, 48858  
 ZONED R-3A  
 PROPOSED PARCEL  
 ZONED R-3A  
 MT. PLEASANT INVESTMENT



**REMUS ROAD (M-20)**  
(ASPHALT VARIES, R-O-W VARIES)

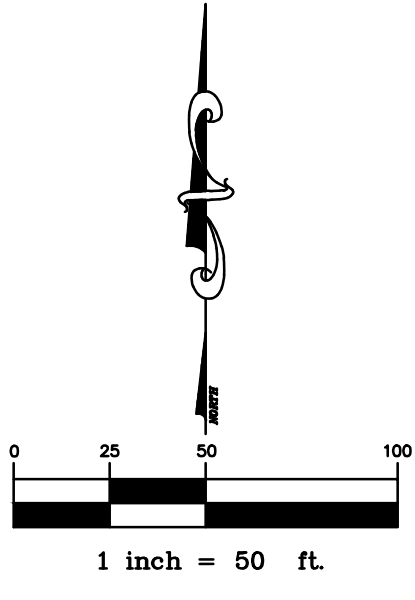
PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

**PROPOSED PARCEL**  
ZONED B-5  
MT. PLEASANT INVESTMENT  
PROPERTIES, LLC  
REMAINDER PARCEL  
9.54 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A

**PROPOSED PARCEL**  
ZONED R-3A  
MT. PLEASANT INVESTMENT

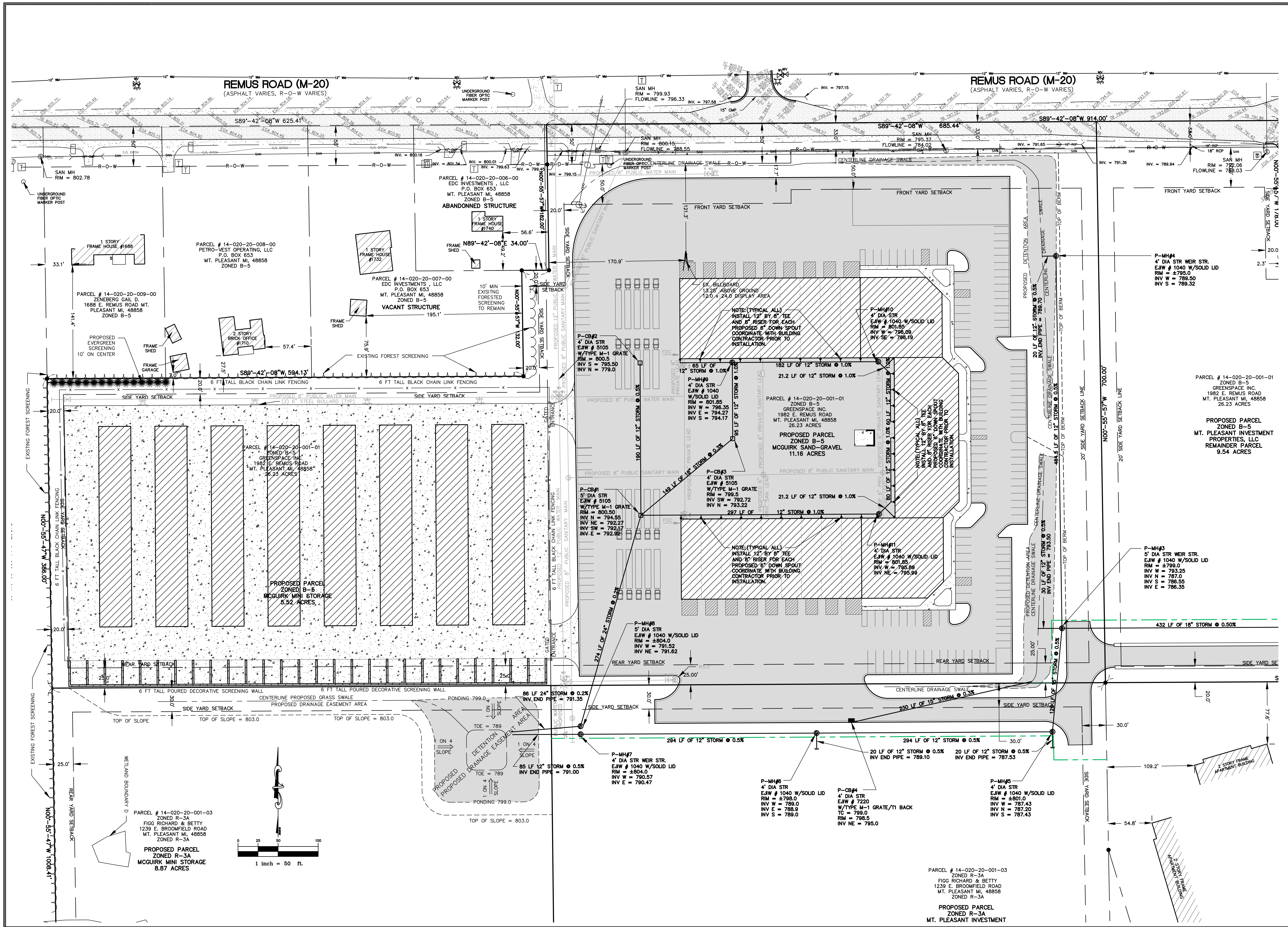
PARCEL # 14-020-20-001-02  
FIGG RICHARD & BETTY  
3860 ST. ANDREWS DRIVE  
MT. PLEASANT MI, 48858  
ZONED R-3A



REVISIONS:

SUBMITTAL TO TWP PLANNING COM. 5-30-17
SUBMITTAL TO TWP PLANNING COM. 6-6-17

JOB NUMBER:	1704-062
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB
SCALE:	1" = 50'
SHEET NUMBER:	9 OF 13



**OVERALL STORM PLAN - WEST**  
 MT. PLEASANT INVESTMENT PROPERTIES, LLC  
 PART OF THE NORTHEAST 1/4  
 SECTION 20, T14N-R4W  
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

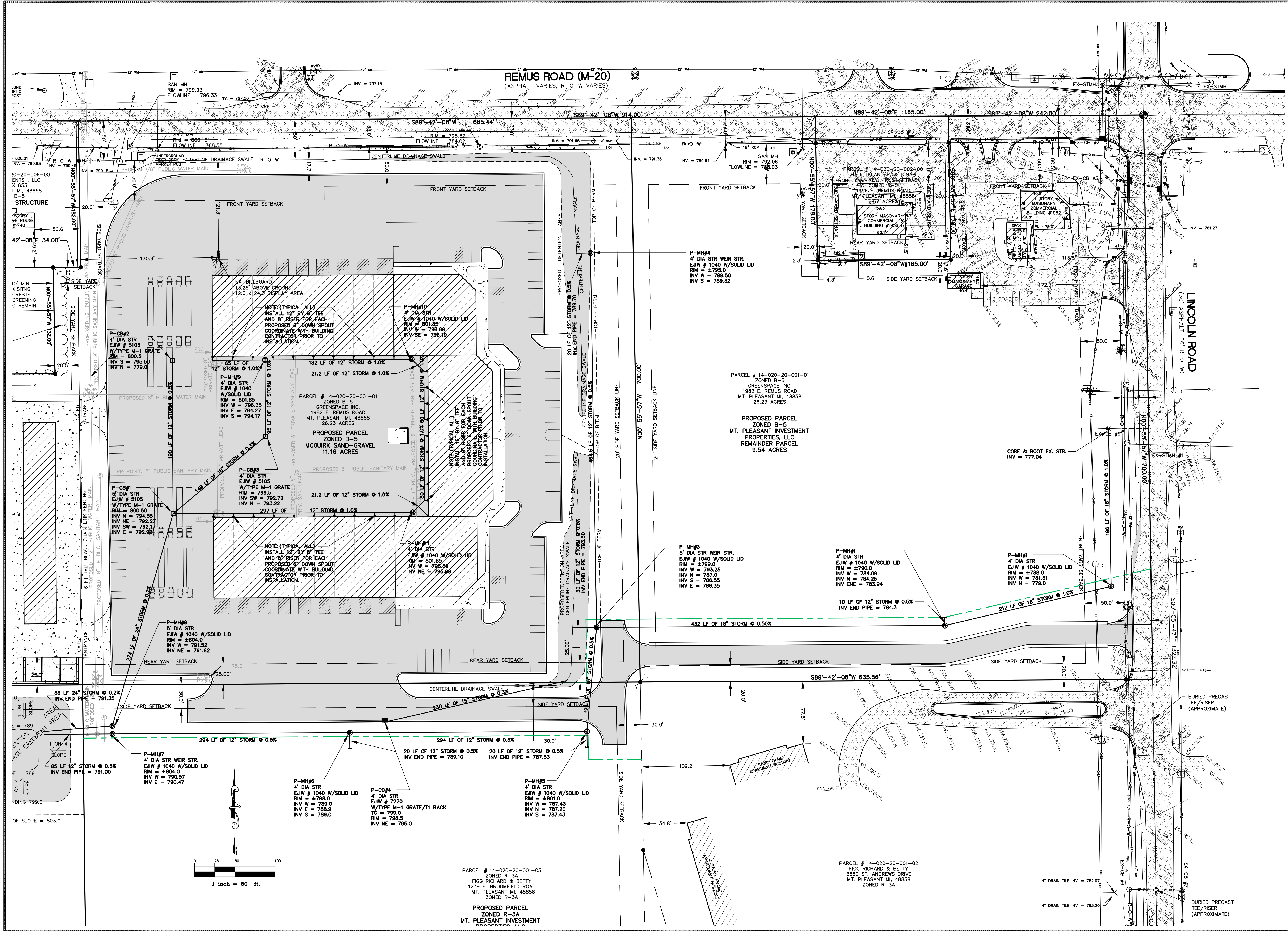
REVISIONS:

NO. 1	DATE	DESCRIPTION

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DESIGNED BY:	NA
CHECKED BY:	TELB

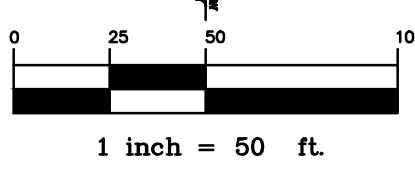
SCALE:	1" = 50'
SHEET NUMBER:	10 OF 13

PARCEL # 14-020-20-001-03  
 ZONED R-3A  
 FIGG RICHARD & BETTY  
 1239 E. BROOMFIELD ROAD  
 MT. PLEASANT MI, 48858  
 ZONED R-3A  
 PROPOSED PARCEL  
 ZONED R-3A  
 MCGUIRK MINI STORAGE  
 8.87 ACRES



REMUS ROAD (M-20)  
(ASPHALT VARIES, R-O-W VARIES)

LINCOLN ROAD  
(30' ASPHALT, 66' R-O-W)



PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A  
  
PROPOSED PARCEL  
ZONED R-3A  
MT. PLEASANT INVESTMENT

PARCEL # 14-020-20-001-02  
ZONED R-3A  
FIGG RICHARD & BETTY  
3860 ST. ANDREWS DRIVE  
MT. PLEASANT MI, 48858  
ZONED R-3A

**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

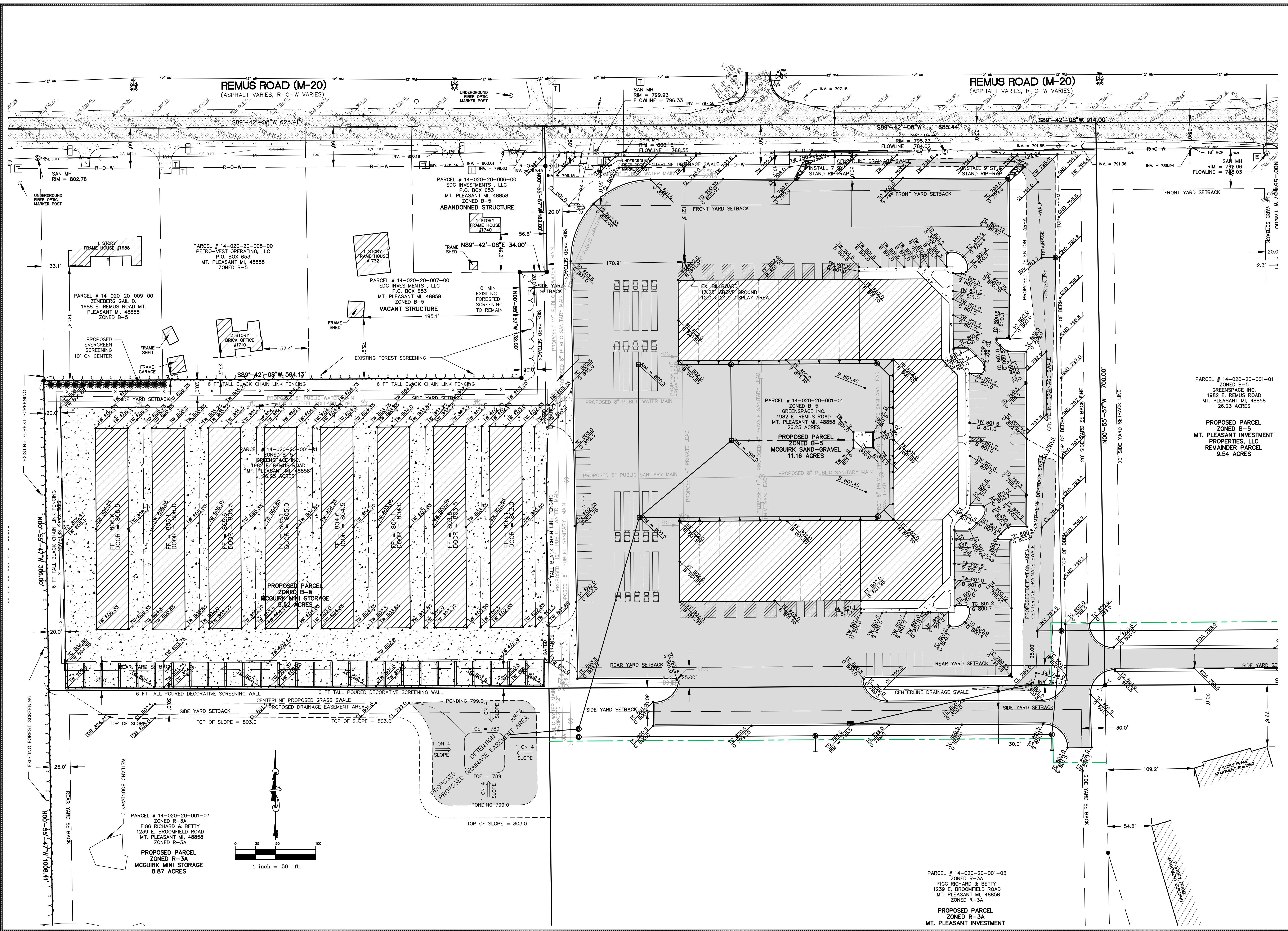


**OVERALL STORM PLAN - EAST**  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

JOB NUMBER:	1704-062
DESIGNED BY:	WRE/TELB
CHECKED BY:	NA
SCALE:	1" = 50'
SHEET NUMBER:	11 OF 13

SUBMITTAL TO TWP PLANNING COM. 5-30-17
SUBMITTAL TO TWP PLANNING COM. 6-6-17



REMUS ROAD (M-20)  
(ASPHALT VARIES, R-O-W VARIES)

REMUS ROAD (M-20)  
(ASPHALT VARIES, R-O-W VARIES)

PARCEL # 14-020-20-006-00  
EDC INVESTMENTS, LLC  
P.O. BOX 653  
MT. PLEASANT MI, 48858  
ZONED B-5  
ABANDONED STRUCTURE

PARCEL # 14-020-20-008-00  
PETRO-VEST OPERATING, LLC  
P.O. BOX 653  
MT. PLEASANT MI, 48858  
ZONED B-5

PARCEL # 14-020-20-007-00  
EDC INVESTMENTS, LLC  
P.O. BOX 653  
MT. PLEASANT MI, 48858  
ZONED B-5  
VACANT STRUCTURE

PARCEL # 14-020-20-009-00  
ZENEBERG GAIL D  
1688 E. REMUS ROAD MT.  
PLEASANT MI, 48858  
ZONED B-5

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

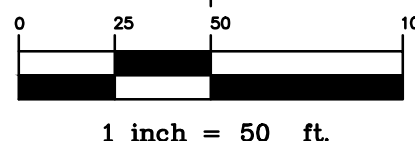
PROPOSED PARCEL  
ZONED B-5  
MCGUIRK MINI STORAGE  
5.82 ACRES

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

PROPOSED PARCEL  
ZONED B-5  
MT. PLEASANT INVESTMENT  
PROPERTIES, LLC  
REMAINDER PARCEL  
9.54 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A

PROPOSED PARCEL  
ZONED R-3A  
MCGUIRK MINI STORAGE  
8.87 ACRES



PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A

PROPOSED PARCEL  
ZONED R-3A  
MT. PLEASANT INVESTMENT

**CMS & D**  
SURVEYING/ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com



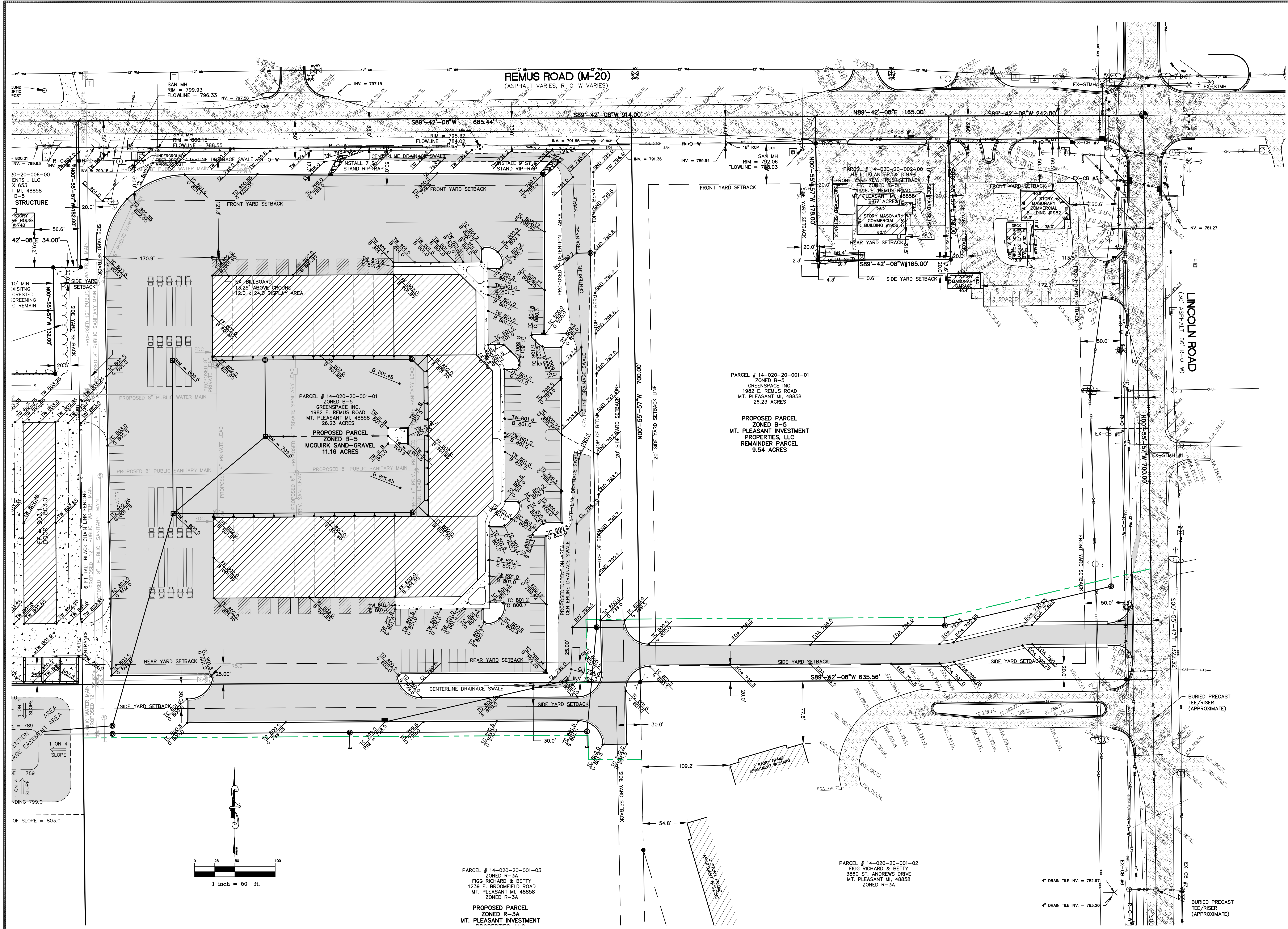
**OVERALL GRADING PLAN - WEST**  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

JOB NUMBER:	1704-062
DRAWN BY:	WRE/TELB
DESIGNED BY:	NA
CHECKED BY:	TELB

SCALE:	1" = 50'
SHEET NUMBER:	12 OF 13





REMUS ROAD (M-20)  
(ASPHALT VARIES, R-O-W VARIES)

LINCOLN ROAD  
(30' ASPHALT, 66' R-O-W)

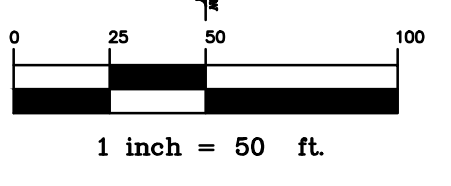
PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

PROPOSED PARCEL  
ZONED B-5  
MT. PLEASANT INVESTMENT  
PROPERTIES, LLC  
REMAINDER PARCEL  
9.54 ACRES

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
ZONED R-3A

PROPOSED PARCEL  
ZONED R-3A  
MT. PLEASANT INVESTMENT

PARCEL # 14-020-20-001-02  
ZONED R-3A  
FIGG RICHARD & BETTY  
3860 ST. ANDREWS DRIVE  
MT. PLEASANT MI, 48858  
ZONED R-3A



**CMS & D**  
SURVEYING/ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com



**OVERALL GRADING PLAN - EAST**  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:  
SUBMITTAL TO TWP PLANNING COM. 5-30-17  
SUBMITTAL TO TWP PLANNING COM. 6-6-17

SCALE  
1" = 50'

JOB NUMBER:  
1704-062

DRAWN BY:  
WRE/TELB

DESIGNED BY:  
NA

CHECKED BY:  
TELB

SHEET NUMBER  
13 OF 13



EAST VIEW



SOUTHEAST VIEW



NORTHEAST VIEW



**GOUDREAU** | ASSOCIATES  
ARCHITECTS+BUILDERS

131 S.MAIN | MT. PLEASANT, MI | 48858 | P: 989.773.0146 | F: 989.400.4989

**MCGUIRK M-20 PROPERTY**  
**MT. PLEASANT, MI.**



NORTH VIEW



STORAGE UNITS



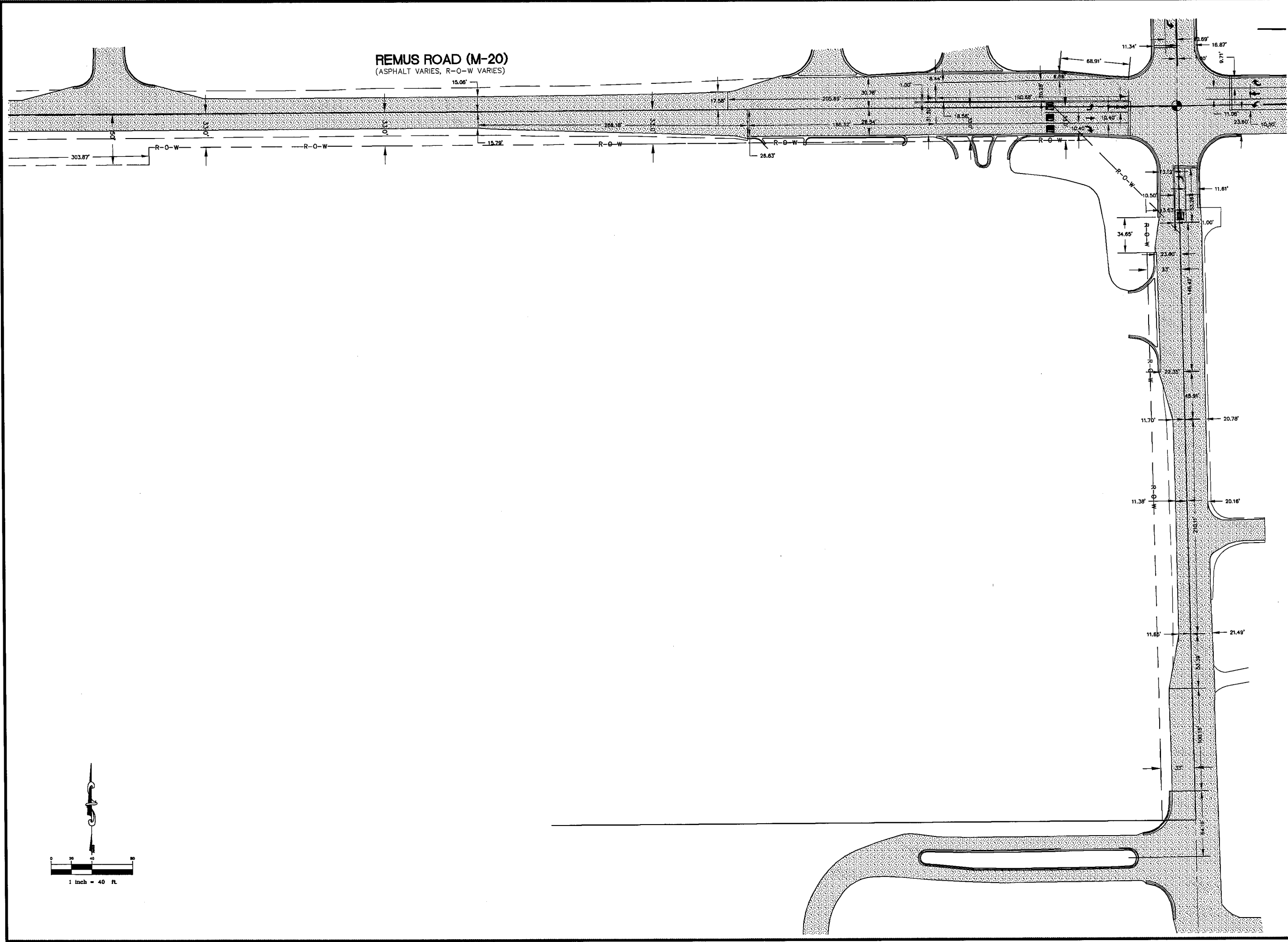
STORAGE UNITS



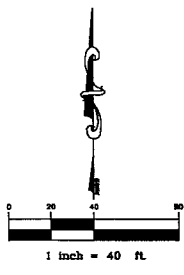
**GOUDREAU** | ASSOCIATES  
ARCHITECTS+BUILDERS

131 S.MAIN | MT. PLEASANT, MI | 48858 | P: 989.773.0146 | F: 989.400.4989

**MCGUIRK M-20 PROPERTY**  
**MT. PLEASANT, MI.**



**REMUS ROAD (M-20)**  
 (ASPHALT VARIES, R-O-W VARIES)

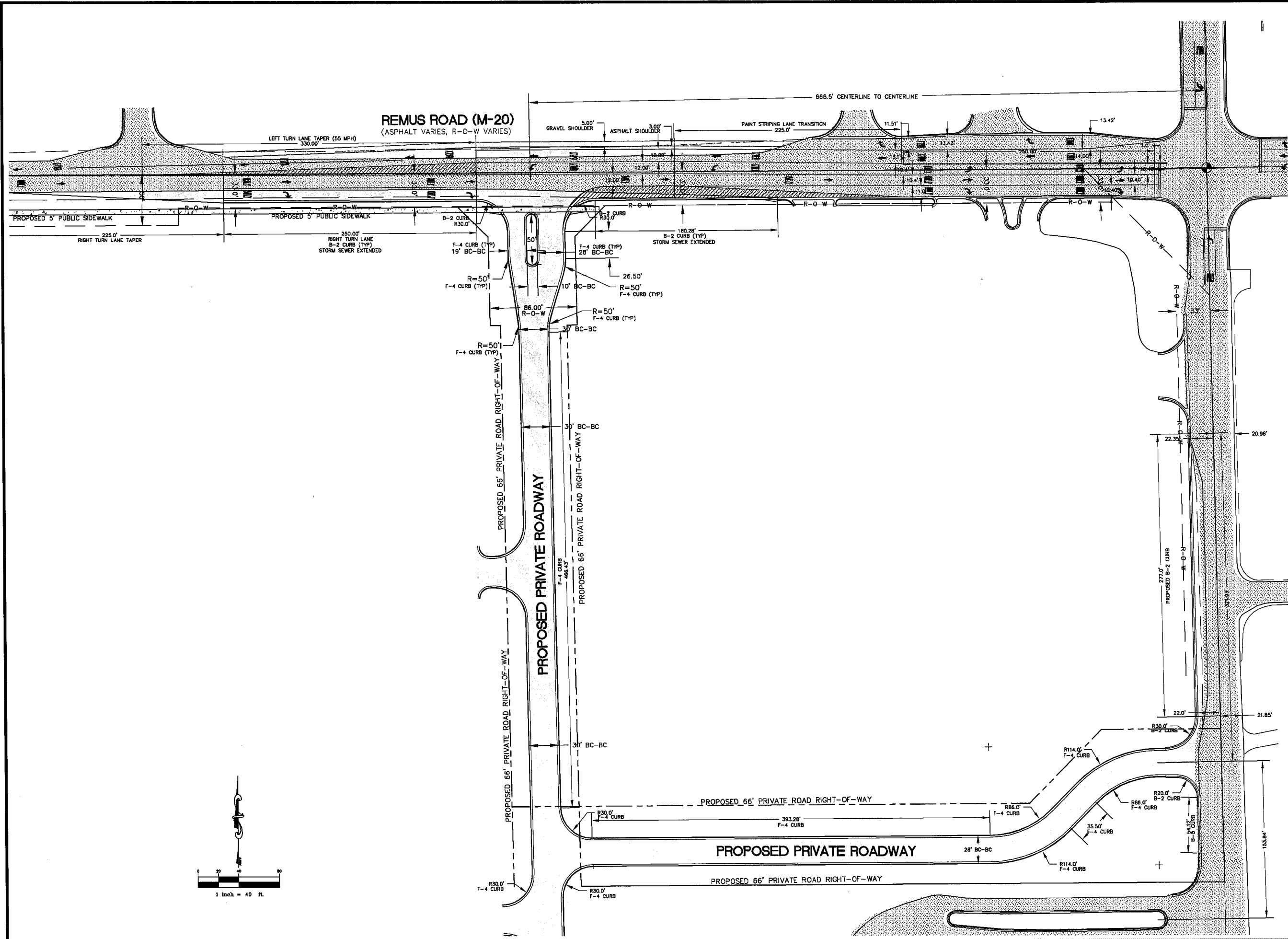


**CMS & D**  
 SURVEYING / ENGINEERING  
 510 W. PICKARD STREET - SUITE C  
 MT. PLEASANT, MICHIGAN 48858  
 PHONE: (989) 775-5012  
 EMAIL: info@cms-d.com



**EXISTING CONDITION PLAN**  
**LINCOLN AND REMUS ROAD**  
 MT. PLEASANT INVESTMENT PROPERTIES, LLC  
 PART OF THE NORTHEAST 1/4  
 SECTION 20, T14N-R4W  
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE:	1" = 40'	REVISIONS:	
JOB NUMBER:	1704-062	SUBMITTALS:	SUBMITTAL TO TWP/MDOT/CRC 6-12-17
DRAWN BY:	TELB		
DESIGNED BY:	NA		
CHECKED BY:	TELB		
SHEET NUMBER:	1 of 2		
	156		



**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (888) 755-7756  
734-775-0000  
EMAIL: info@cems-d.com



**PROPOSED CONDITION PLAN**  
LINCOLN AND REMUS ROAD  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R14W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:  
SUBMITTAL TO TWP/ADOT/ICRC 6-12-17

JOB NUMBER:  
1704-062

DRAWN BY:  
WRE/TEB

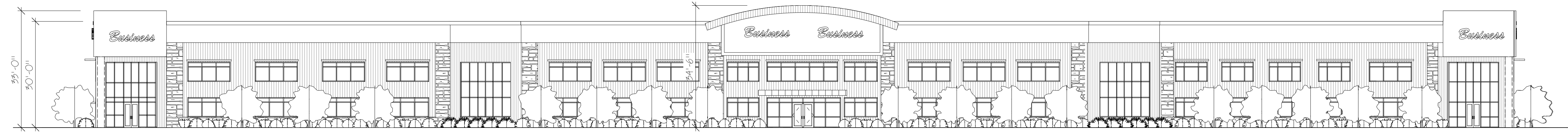
DESIGNED BY:  
NA

CHECKED BY:  
TEB

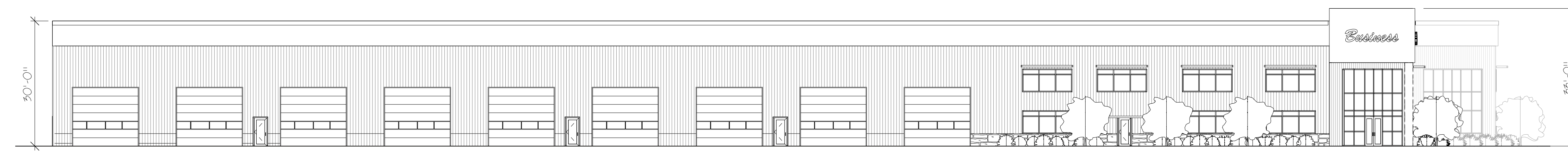
SCALE  
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SHEET NUMBER  
2 of 2

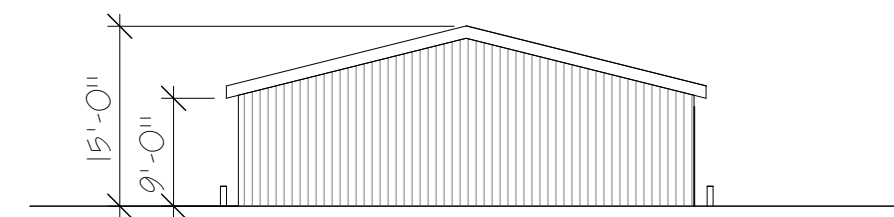
157



FRONT ELEVATION  
SCALE: 1/16" = 1'-0"



SIDE ELEVATION  
SCALE: 1/16" = 1'-0"



STORAGE UNIT  
SCALE: 1/16" = 1'-0"



**GOUDREAU ASSOCIATES**  
ARCHITECTS+BUILDERS

131 S.MAIN | MT. PLEASANT, MI | 48858 | P: 989.773.0146 | F: 989.400.4989

**MCGUIRK M-20 PROPERTY**  
**MT. PLEASANT, MI.**



Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: F) REZ 2017-04 I-2 General Industrial to R-1 Rural Residential 6.08 acres Coyne LLC N. Harris(Crawford Rd.) PID 14-010-30-003-03**

(Public Hearing required)

**Applicant:** CMS&D Surveying and Engineering

**Owner:** Coyne LLC

**Location:** N. Harris(Crawford Rd.) Mt. Pleasant, MI 48858 PID 14-010-30-003-03

**Current Zoning:** I-2 General Industrial District

**Adjacent Zoning:** R-2A to the north, I-2 to the east, B-5 to the west across the road(City of Mt. Pleasant, Industrial to the south (City of Mt. Pleasant.)

**Future Land Use/Intent:** Industrial: Areas for factories and research facilities.

**Current Use:** vacant property

**Reason for Request:** Applicant proposes to rezone 6.08 acres of property to R-1 to build a residential home.

**History:** Property is currently vacant. Applicant has submitted a preliminary site plan review. Final review and approval is for a later date.

**Objective of board:** The Planning Commission shall submit the proposed amendment, along with its recommendation, to the Township Board for consideration within sixty (60) days from the conclusion of the public hearing.

**Recommend at this time a recommendation to not approve of REZ 2017-04 I-2 to R-1 6.08 acres at N. Harris (Crawford Rd.) PID 14-010-30-003-03 because**

- The proposed rezone goes against the existing FLU map of the Master Plan.
- Planning commission has repeatedly expressed desire for the preservation and increase of Industrial zoned property.
- A residential property abutting an industrial property increases more of the problems (Residential abutting Industrial/Business Districts) the planning commission has desired to decrease.

Peter Gallinat  
Twp Planner

APPLICATION FOR ZONING CHANGE  
CHARTER TOWNSHIP OF UNION  
ISABELLA COUNTY, MICHIGAN

APPLICATION NO. \_\_\_\_\_

DATE \_\_\_\_\_

A. I (WE) COYNE LLC

Address 914 WEST PICKARD STREET, MT. PLEASANT, MI 48858

Phone 989-72220

hereby file an application with the Township Clerk's office to:

1.  Add to or change the text of the Zoning Ordinance.
2.  Change the district boundaries.
3.  Re-zone the property from 1-2  
zoning classification to R-1  
zoning classification.

B. If this application is for a text amendment please describe in detail what you would like to change. Give section numbers and proposed changes, standards, and procedures.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

C. If this application is for the re-zoning of property please provide a complete legal description.

SEE ATTACHED SHEET  
\_\_\_\_\_  
\_\_\_\_\_

D. If this application is for re-zoning please provide a complete common description. (address, cross roads, etc.)

14 010 30 003 03 N. HARRIS ST (CRAWFORD RD) MT. PLEASANT MI  
\_\_\_\_\_

E. Please provide reasons for requesting text amendment or zoning change and include intended use of any land, buildings, or structures.

THE REASON FOR THE REQUEST IS OWNER PLANS TO CONSTRUCT A RESIDENTIAL HOME ON  
THE PROPERTY TAKING ACCESS FROM HARRIS ST (CRAWFORD RD)  
\_\_\_\_\_  
\_\_\_\_\_

F. Please provide a site plan for any property to be re-zoned following the requirements outlined in Section 12 of the Union Township Zoning Ordinance 1991-5.



G. List names and addresses of property owners lying within 300 feet of the property to be re-zoned. (use separate sheet)

H. List all or any easements or right-of-ways which have been granted said properties herein described.

SEE ATTACHED DRAWING FOR EASEMENTS

CERTIFICATION:

I (WE) hereby certify that the afore information is accurate and assume responsibility for any error.

SIGNED:

*David L. Payne*  
Applicant

5/30/17  
Date

Applicant

Date

Applicant

Date

\*\*\*\*\*

\*\* FOR OFFICE USE ONLY \*\*

Date application referred to Planning Commission \_\_\_\_\_

Date public hearing notice published \_\_\_\_\_

Date public hearing notice mailed \_\_\_\_\_

Planning Commission Action. \_\_\_ Adopted \_\_\_ Denied Date \_\_\_\_\_

Date referred to County Planning Commission \_\_\_\_\_

Township Board Action \_\_\_ Adopted \_\_\_ Denied Date \_\_\_\_\_

Remarks: \_\_\_\_\_

FEE \_\_\_\_\_

RECEIPT NO. \_\_\_\_\_

## AFFIDAVIT OF PUBLICATION

48 West Huron Street • Pontiac, MI 48342

**CHARTER TOWNSHIP OF UNION**  
**2010 S Lincoln**

**Mount Pleasant, MI 48858**  
**Attention: PETER GALLINAT**

STATE OF MICHIGAN,  
COUNTY OF ISABELLA

*John Cooper*  
*Take Airport*

The undersigned \_\_\_\_\_, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

### CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun	06/04/17
morningstarpublishing.com	06/04/17



Sworn to the subscribed before me this 5<sup>th</sup> June 2017

*Tina M. Crown*

Notary Public, State of Michigan  
Acting in Oakland County

**UNION TOWNSHIP PUBLIC HEARING NOTICE -REZONING**

NOTICE is hereby given that a Public Hearing will be held on Tuesday, June 20, 2017, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a rezoning of 6.08 acres of property from I-2 (General Industrial District) to R-1 (Rural Residential District), as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by COYNE LLC a rezoning of 6.08 acres of property from I-2 to R-1 zone

Legal Description of properties: T14N R4W, SEC 10, S 1/2 OF N 1/2 OF SW 1/4 & THAT PT OF NE 1/4 OF SW 1/4 LYING W OF CHIPPEWA RIV; EXC RR ROW; ALSO EXC COM AT INT OF N LN OF NE 1/4 OF SW 1/4 AND THE ELY ROW LN OF AARR; TH SWLY ALG SD ROW 550 FT; TH E, 325 FT MORE OR LESS TO BANK OF CHIP RVR; TH NELY TO N LN OF NE 1/4 OF SW 1/4 OF SAID SEC; TH W 525 FT TO POB ALSO EXC COM N 1D 37M 35 E, 1323.71 FT ALG W SEC LN TO S1/8 LN FROM SW COR; TH N 1D 37M 35 E, 132.48 FT; TH S 81D 22M 57S E, 282.2 FT; TH S 1D 37M 35 E, 97.91 FT; TH N 88D 25M 75 W, 280.1 FT TO POB

These properties located at: N. HARRIS MOUNT PLEASANT, MI 48858 PID 14-010-30-003-03

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,  
Township Planner

Published June 4, 2017

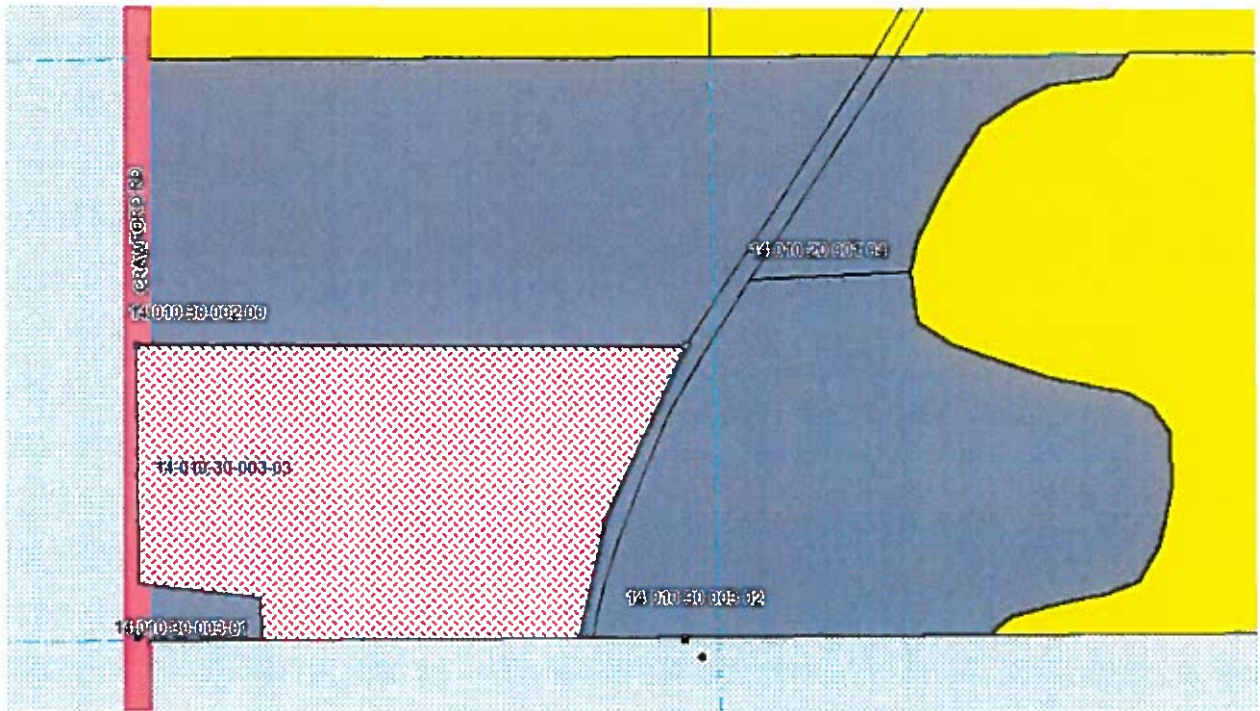
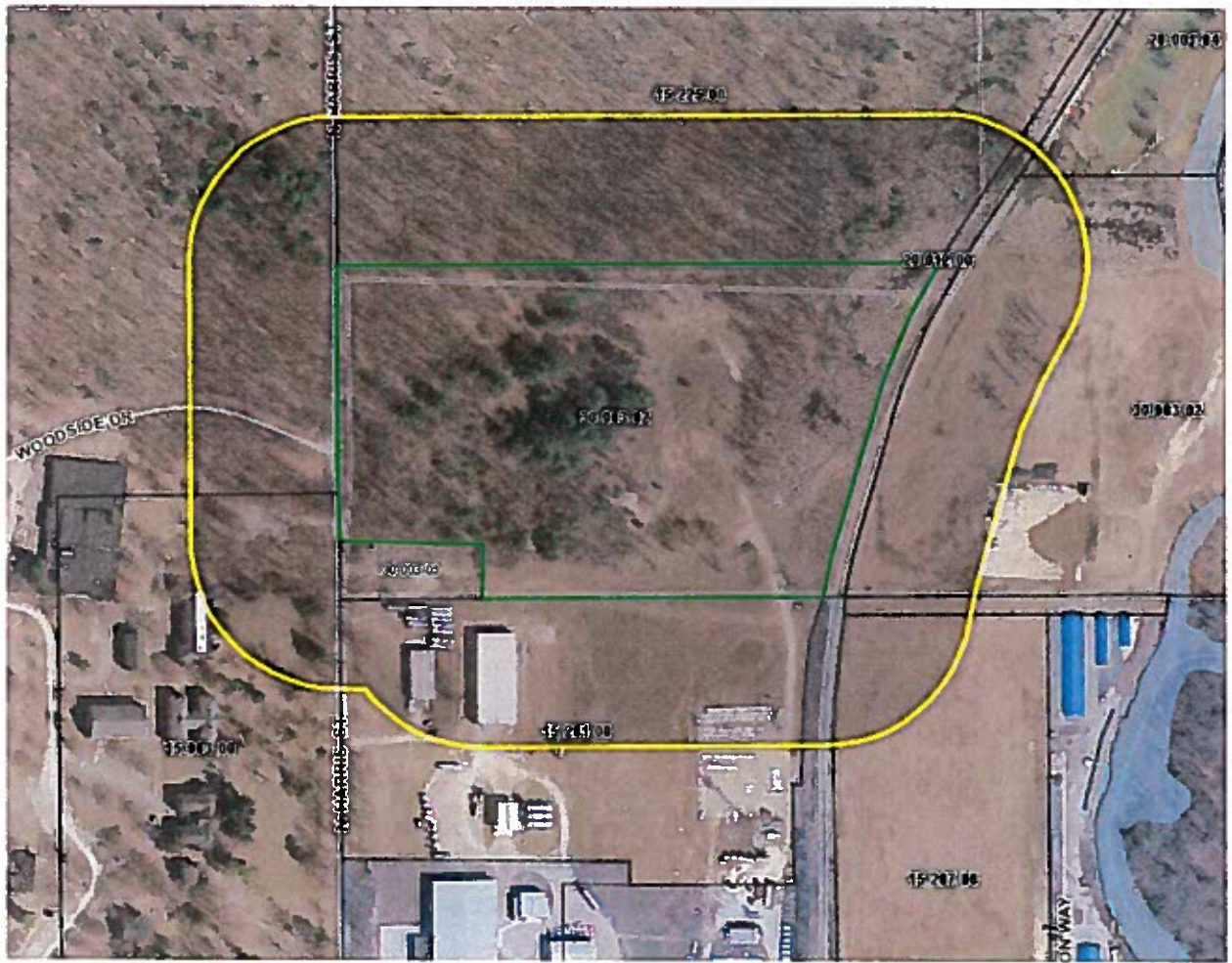
### Advertisement Information

Client Id: 531226

Ad Id: 1351330

PO:

Sales Person: 200300



The map on the top front side of the paper shows the subject property (PID 14-010-30-003-03 N. Harris St.) enclosed with a green line. The yellow line depicts the 300 foot radius around the subject property.

The map on the lower front side of the paper shows the subject property (PID 14-010-30-003-03 N. Harris St.) checkered in red. The property is zoned I-1(Light Industrial District). Light Industrial is represented by the color grey. The yellow color is R-2A 9(One and Two Family, Low Residential District). The Blue represents the City of Mt. Pleasant. Please see attached City zoning map.

Attached on a second paper with the notice is printed on one side is the City of Mt. Pleasant Zoning Map. I have checkered an area on the top left quadrant of the map. This is the subject property. The green is AG (Agricultural) and the grey is Industrial-1.

A third paper is a copy of a survey showing the 6.08 acres proposed to be rezoned to R-1 (Rural Residential District).

- NOTE: Harris St. is shown on the top map and Crawford on the lower map and City Zoning Map. They are the same street.

## UNION TOWNSHIP PUBLIC HEARING NOTICE -REZONING

NOTICE is hereby given that a Public Hearing will be held on Tuesday, June 20, 2017, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a rezoning of 6.08 acres of property from I-2 (General Industrial District) to R-1 (Rural Residential District), as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by **COYNE LLC** a rezoning of 6.08 acres of property from I-2 to R-1 zone

Legal Description of properties: T14N R4W, SEC 10, S 1/2 OF N 1/2 OF SW 1/4 & THAT PT OF NE 1/4 OF SW 1/4 LYING W OF CHIPPEWA RIV; EXC RR ROW; ALSO EXC COM AT INT OF N LN OF NE 1/4 OF SW 1/4 AND THE ELY ROW LN OF AARR; TH SWLY ALG SD ROW 550 FT; TH E, 325 FT MORE OR LESS TO BANK OF CHIP RVR; TH NELY TO N LN OF NE 1/4 OF SW 1/4 OF SAID SEC; TH W 525 FT TO POB ALSO EXC COM N 1D 37M 3S E, 1323.71 FT ALG W SEC LN TO S1/8 LN FROM SW COR; TH N 1D 37M 3S E, 132.48 FT; TH S 81D 22M 57S E, 282.2 FT; TH S 1D 37M 3S E, 97.91 FT; TH N 88D 25M 7S W, 280.1 FT TO POB

These properties located at: N. HARRIS MOUNT PLEASANT, MI 48858  
PID 14-010-30-003-03

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,  
Township Planner

MCGUIRK MINI STORAGE INC  
PO BOX 530  
MT PLEASANT, MI 48858

MRP PROPERTIES COMPANY LLC  
P.O. BOX 696000  
SAN ANTONIO, TX 78269-6000

SAGINAW CHIPPEWA INDIAN  
TRIBE OF MICHIGAN  
7070 EAST BROADWAY  
MT PLEASANT, MI 48858

CITY OF MT PLEASANT  
320 WEST BROADWAY  
MT PLEASANT, MI 48858

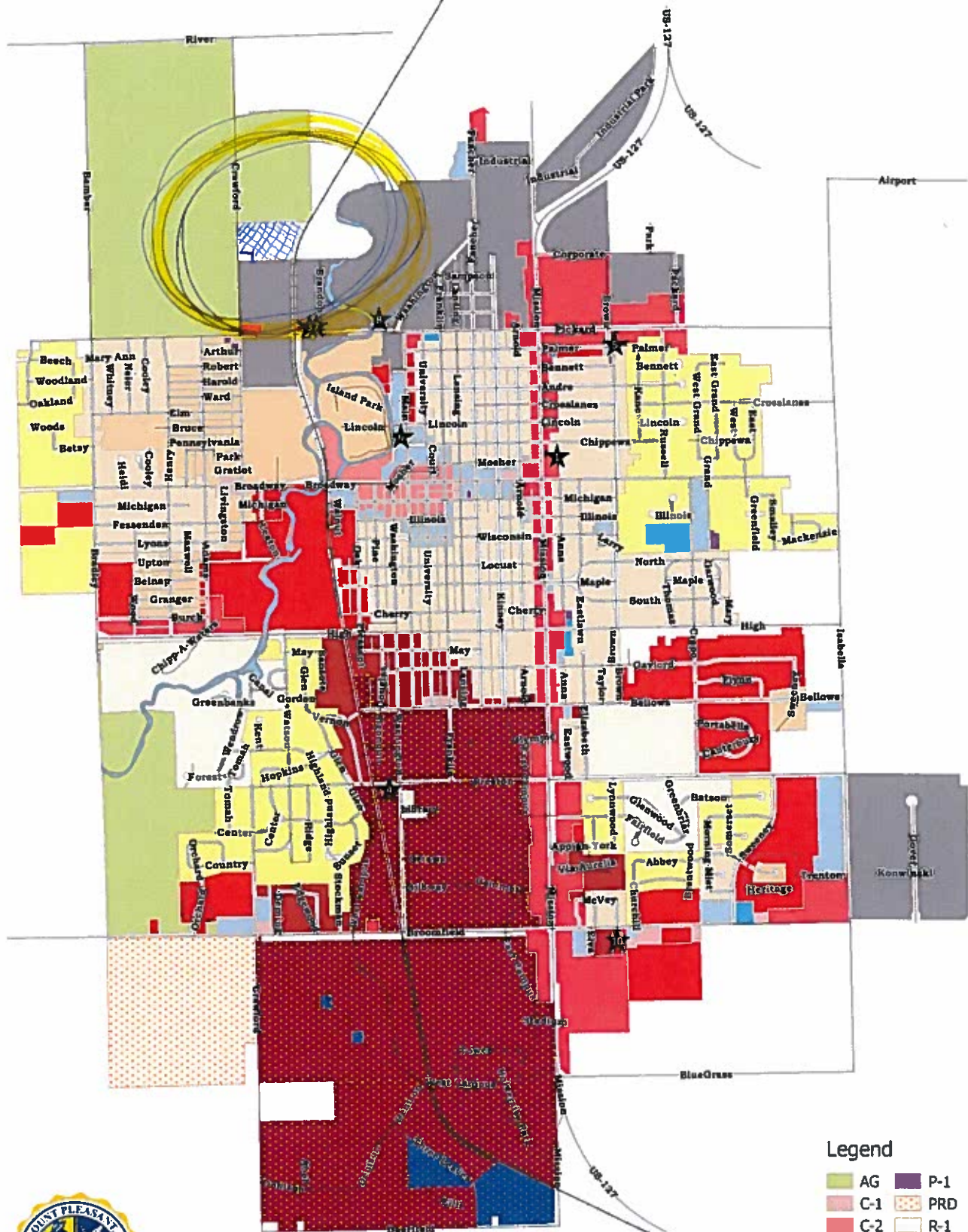
COYNE OIL COPORATION  
914 WEST PICKARD, P.O. BOX 9  
MT PLEASANT, MI 48858-0009

WOLVERINE PIPLINE CO.  
P.O BOX 53  
HOUSTON, TX 77001-0053

MT. PLEASANT COUNTRY CLUB  
3686 E. RIVER RD  
MT PLEASANT, MI 48858

# City of Mt. Pleasant Zoning Map

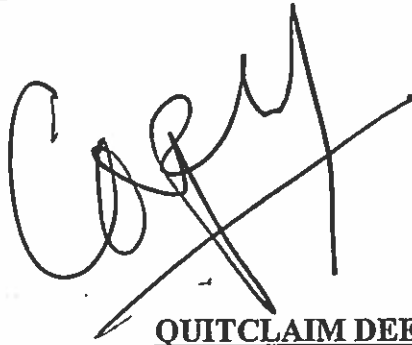
with Modified "U" Zone



# COYNE OIL CORPORATION

Received  
ISABELLA COUNTY, MI  
05-24-2017 09:27  
Received  
ISABELLA COUNTY, MI  
05-26-2017 11:23

201700004514  
Filed for Record in  
ISABELLA COUNTY, MI  
KAREN R. JACKSON  
05-26-2017 At 11:33:32 am.  
QUIT C DEED 30.00  
Liber 1770 Page 434 - 450



## QUITCLAIM DEED

The Grantor, MRP Properties Company, LLC, a Michigan limited liability company, with an address of 1610 East Superior Street, Alma, MI 48801, quitclaims to the Grantee, Coyne LLC, a Michigan limited liability company, with an address of 914 W. Pickard Street, Mt. Pleasant, MI 48858, certain premises located in Union Township, Isabella County, Michigan, as legally described in attached Exhibit A (the "Conveyed Parcel"), pursuant and subject to the terms, conditions and provisions of a certain Agreement Regarding the Conduct of Environmental Activities dated as of May 15, 2017 between Grantor and (among other parties) Grantee, and to the terms, conditions and provisions of this Deed.

ASSURE PROPER CREDIT TEAR OFF AND RETURN TOP PORTION WITH YOUR REMITTANCE.

The consideration for this Deed is One Dollar (\$1.00).

The Conveyed Parcel may be located within the vicinity of farm land or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan right to farm act.

Grantor transfers to Grantee the right to make two (2) available division(s) under Section 108 of the land division act, Act No. 288 of the Public Acts of Michigan of 1967, which transfer is made without representation or warranty (whether express or implied, or as to the number, extent or nature of any available division rights, or otherwise) and without recourse to Grantor.

Title to and possession of the Conveyed Parcel are transferred and accepted subject to, and Grantee shall comply with all of the terms of, without limitation, the covenants and restrictions set forth in attached Exhibit B. Except with the express advance written approval of Grantor and the Michigan Department of Environmental Quality, Grantee and its successors and assigns shall not take or permit any action that would amend any of the covenants and restrictions set forth in attached Exhibit B or prevent the covenants and restrictions from running with the land comprising the Conveyed Parcel.

The Conveyed Parcel was associated with the operation of the former Roosevelt Refinery and the restricted portion of the Conveyed Parcel (the area included in the restricted area described and depicted in Exhibits 1 and 2 to attached Exhibit B) is included within a larger tract that is the subject of the Administrative Order on Consent ("Order") dated March 20, 1997 between the Michigan Department of Environmental Quality and the entity that was the operator of the Roosevelt Refinery, under the provisions of Part 201 of the Natural Resources and Environmental Protection Act, MCL 324.20101, et seq. The unrestricted portion of the

Please Remit To:  
4831-1994-6794.2  
085898\000037

Coyne Oil Corp.  
PO Box 9

Mount Pleasant, MI 49904 0000



Conveyed Parcel (the area not included in the restricted area described and depicted in Exhibits 1 and 2 to attached Exhibit B) was originally within the "facility" governed by the Order but the MDEQ later determined to remove it from the "facility" scope. The Order requires the performance of certain response activities at certain real property identified in the Order. The entity that was the operator of the Roosevelt Refinery is a non-existent entity, its successor having been dissolved by law. Grantee has separately acknowledged in writing that (i) the restricted portion of the Conveyed Parcel is a part of a "facility" as that term is used in MCL 324.20116, (ii) Grantor has made the disclosures to Grantee described in MCL 324.20116, and (iii) Grantee has independently investigated and is aware of the environmental condition of the Conveyed Parcel.

In the event that any term or provision of this Deed is unenforceable or void in whole or in part, such provision shall be limited to the extent necessary to render the Deed valid and enforceable, or shall be excised from this Deed as circumstances require, and this Deed shall be construed as if the term or provision had been incorporated herein as so limited, or as if the term or provision had not been included herein, as the case may be.

PLEASE ENTER  
AMOUNT PAID  
IN THIS AREA

This Deed is dated as of May 15, 2017.

*Signatures and acknowledgments follow  
The remainder of this page is intentionally blank*

4831-1994-6794.2  
085898\000037

Please Remit To:

Coyne Oil Corp.  
PO Box 9  
Mount Pleasant, MI 49884-0009

# COYNE OIL CORPORATION

*MLH* MRP PROPERTIES COMPANY, LLC, a Michigan limited liability company

By: *[Signature]*  
Print Name: Kirk A. Saffell  
Its: Sr. Vice President

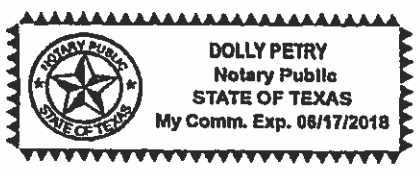
STATE OF Texas )  
  ) SS  
COUNTY OF Bexar )

PLEASE ENTER AMOUNT PAID IN THIS AREA

[Empty Box]

The foregoing instrument was acknowledged before me on May 15, 2017, by Kirk A. Saffell, who is Sr. Vice President of MRP Properties Company, LLC, a Michigan limited liability company, on behalf of the company.

TO ASSURE PROPER CREDIT DEBIT OFF AND RETURN TO FORTHOX WITH YOUR REMITTANCE.



*[Signature]*  
Print Name: Dolly Petry  
Notary Public, Bexar County, Texas  
Acting in Bexar County  
My Commission Expires: 6/17/2018

DRAFTED BY AND AFTER RECORDING RETURN TO:

Brian J. Page  
Dykema Gossett PLLC  
300 Ottawa Ave., N.W., Suite 700  
Grand Rapids, MI 49503  
616-776-7509

Send Tax Bills to Grantee

County and State Transfer Tax: Exempt pursuant to MCL 207.505(a) and 207.526(a).  
Recording Fee: \$30.00

4831-1994-6794.2  
085898000037

Please Remit To:

Coyne Oil Corp.  
PO Box 9  
Mount Pleasant, MI 48804-0000

Exhibit A  
Conveyed Parcel Legal Description

**DESCRIPTION OF PROPERTY PROVIDED:**

THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 LYING WEST OF THE ANN ARBOR RAILROAD, SECTION 10, T14N-R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN EXCEPT COMMENCING N01°-37'-03"E, 1323.71 FEET ALONG THE WEST SECTION LINE TO THE SOUTH 1/8 LINE, FROM THE SOUTHWEST CORNER; THENCE N01°-37'-03"E, 132.48 FEET; THENCE S81°-22'-57"E, 282.20 FEET; THENCE S01°-37'-03"W, 97.91 FEET; THENCE N88°-25'-07"W, 280.10 FEET TO THE POINT OF BEGINNING.

**DESCRIPTION OF PROPERTY AS SURVEYED:**

A PARCEL OF LAND IN THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 10, T.14 N.-R4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION; THENCE N.00°-33'-37"W., ON AND ALONG THE WEST LINE OF SAID SECTION, 1456.22 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING N.00°-33'-37"W., ON AND ALONG SAID WEST SECTION LINE, 529.39 FEET; THENCE N.89°-18'-54"E., ON AND ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION, 1240.18 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF THE ANN ARBOR RAILROAD AND A POINT ON A CURVE TO THE RIGHT HAVING A RADIUS OF 2013.00 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, 716.11 FEET TO A POINT ON SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING S.20°-38'-08"W., 712.34 FEET TO SAID POINT; THENCE S.89°-24'-55"W., ON AND ALONG THE SOUTH 1/8 LINE OF SAID SECTION, 702.53 FEET; THENCE N.00°-33'-37"W., PARALLEL WITH SAID WEST SECTION LINE, 97.91 FEET; THENCE N.83°-32'-54"W., 282.21 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 15.82 ACRES OF LAND AND BEING SUBJECT TO HIGHWAY USE OF THE WESTERLY 33.00 FEET THEREOF AND ALSO BEING SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.

Parcel No. 14-010-30-003-03

[Formerly a part of parcel no. 14-010-30-003-02]

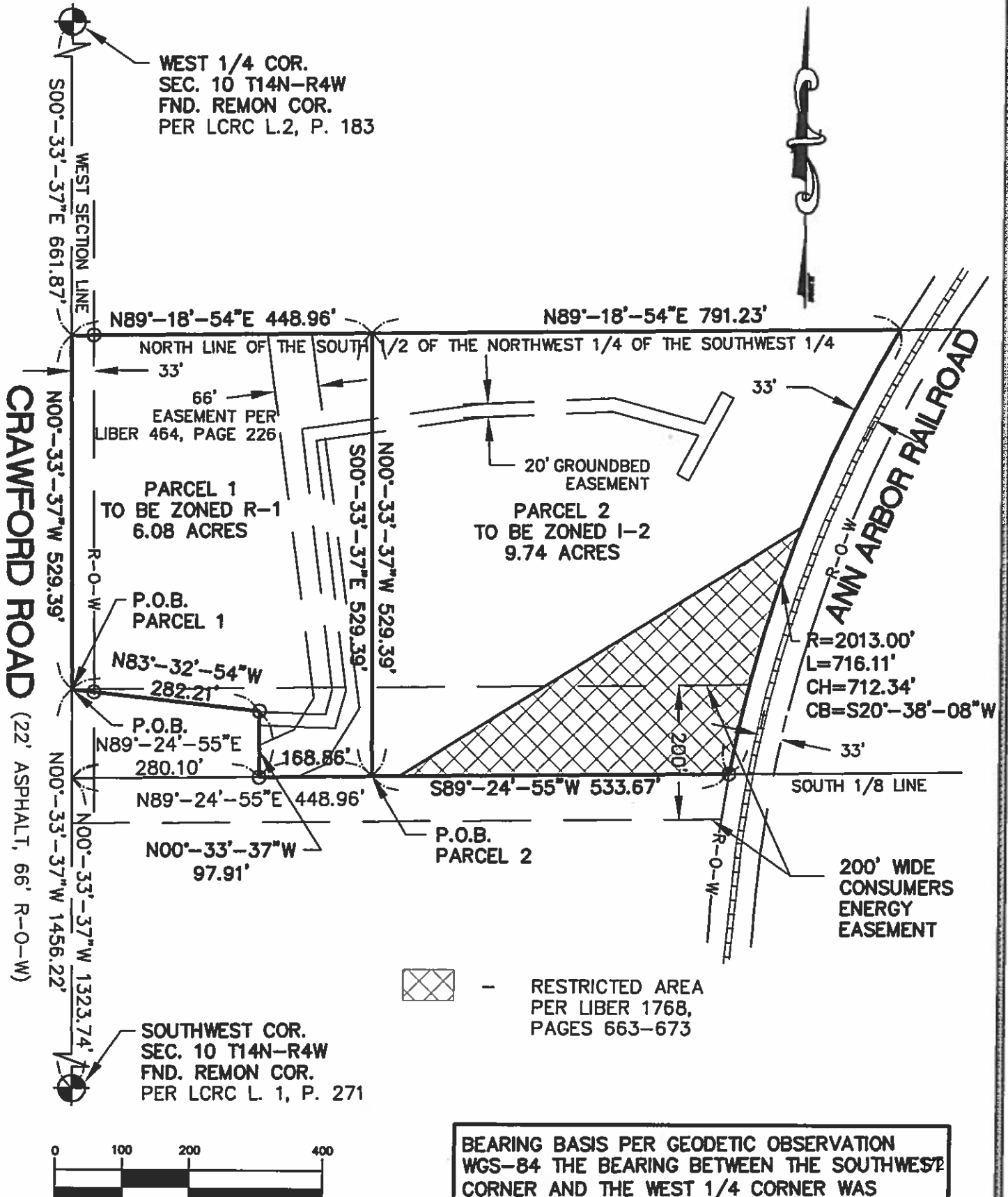
Please Remit To:

Coyne Oil Corp.  
PO Box 9  
Mount Pleasant MI 48804-0009

# SKETCH + DESCRIPTION

COYNE LLC

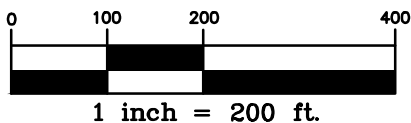
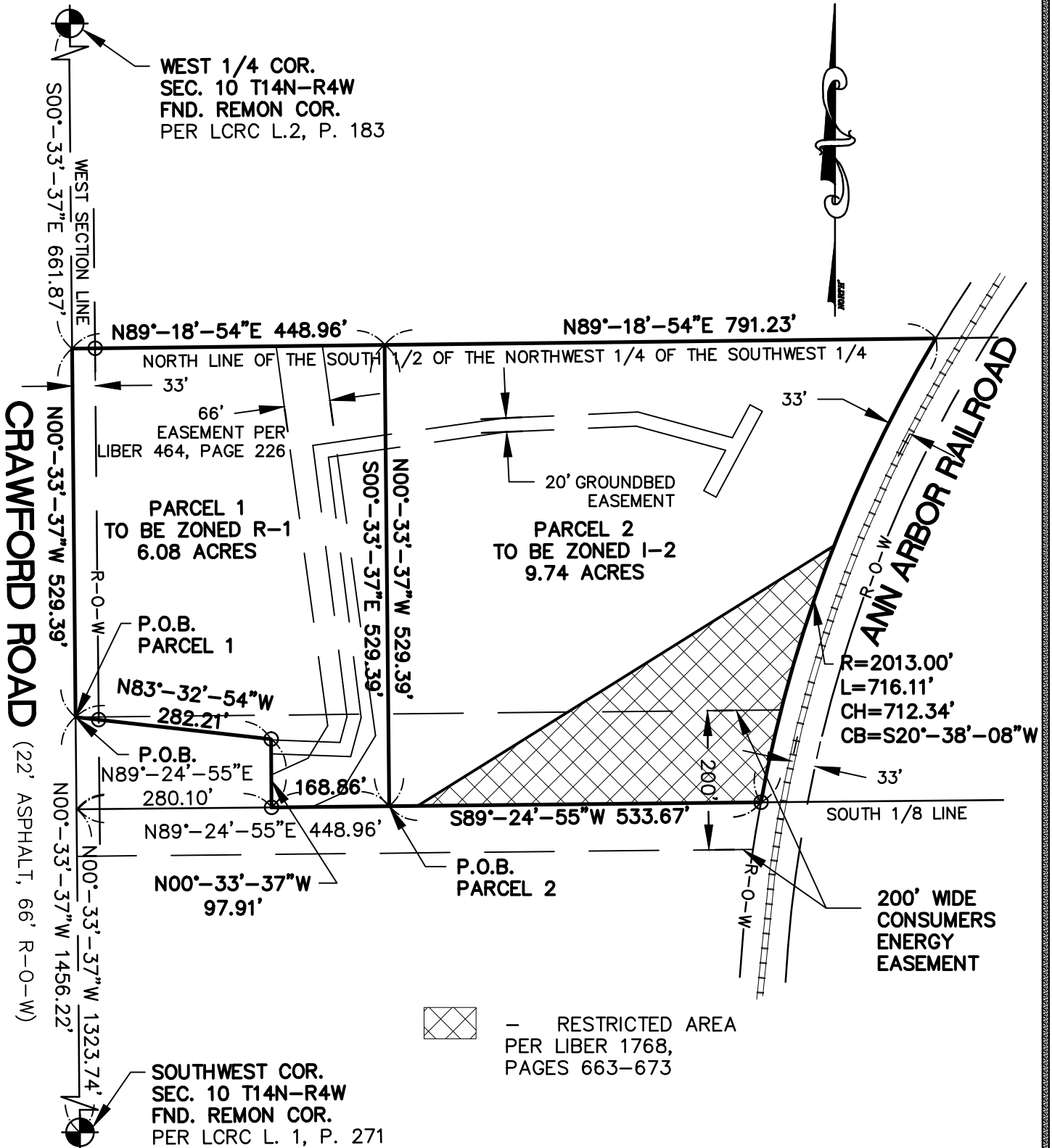
PART OF THE SOUTHWEST 1/4  
SECTION 10, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



# SKETCH + DESCRIPTION

COYNE LLC

PART OF THE SOUTHWEST 1/4  
SECTION 10, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



BEARING BASIS PER GEODETIC OBSERVATION WGS-84 THE BEARING BETWEEN THE SOUTHWEST CORNER AND THE WEST 1/4 CORNER WAS DETERMINED TO BE N.00°-33'-37"W.

R - RECORDED  
M - MEASURED  
□ - SET WOOD STAKE

○ - FOUND IRON  
● - SET IRON  
⊙ - CONCRETE MONUMENT

⊕ - SECTION CORNER  
⊙ - 1/8 CORNER



**CMS & D**  
SURVEYING / ENGINEERING  
1985 PARKLAND DRIVE, SUITE B  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

SCALE: 1" = 200'	DRAWN BY: WRE
SURVEY DATE: N/A	CHECKED BY: TELB
DATE: 5-30-17	JOB NUMBER: 1705-075
REVISED:	SHEET NUMBER: 1 OF 2

# SKETCH + DESCRIPTION

COYNE LLC

PART OF THE SOUTHWEST 1/4  
SECTION 10, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

**SUPPLIED DESCRIPTION OF ENTIRE PARCEL:**

A PARCEL OF LAND IN THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 10, T.14 N.-R4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION; THENCE N.00°-33'-37"W., ON AND ALONG THE WEST LINE OF SAID SECTION, 1456.22 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING N.00°-33'-37"W., ON AND ALONG SAID WEST SECTION LINE, 529.39 FEET; THENCE N.89°-18'-54"E., ON AND ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION, 1240.18 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF THE ANN ARBOR RAILROAD AND A POINT ON A CURVE TO THE LEFT HAVING A RADIUS OF 2013.00 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, 716.11 FEET TO A POINT ON SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING S.20°-38'-08"W., 712.34 FEET TO SAID POINT; THENCE S.89°-24'-55"W., ON AND ALONG THE SOUTH 1/8 LINE OF SAID SECTION, 702.53 FEET; THENCE N.00°-33'-37"W., PARALLEL WITH SAID WEST SECTION LINE, 97.91 FEET; THENCE N.83°-32'-54"W., 282.21 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 15.82 ACRES OF LAND AND BEING SUBJECT TO HIGHWAY USE OF THE WESTERLY 33.00 FEET THEREOF AND ALSO BEING SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.

**DESCRIPTIONS PREPARED:**

**PARCEL 1: (TO BE ZONED R-1)**

A PARCEL OF LAND IN THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 10, T.14 N.-R4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION; THENCE N.00°-33'-37"W., ON AND ALONG THE WEST LINE OF SAID SECTION, 1456.22 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING N.00°-33'-37"W., ON AND ALONG SAID WEST SECTION LINE, 529.39 FEET; THENCE N.89°-18'-54"E., ON AND ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION, 488.96 FEET; THENCE S.00°-33'-37"E., PARALLEL WITH SAID WEST SECTION LINE, 529.39 FEET; THENCE S.89°-24'-55"W., ON AND ALONG THE SOUTH 1/8 LINE OF SAID SECTION, 168.86 FEET; THENCE N.00°-33'-37"W., PARALLEL WITH SAID WEST SECTION LINE, 97.91 FEET; THENCE N.83°-32'-54"W., 282.21 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 6.08 ACRES OF LAND AND BEING SUBJECT TO HIGHWAY USE OF THE WESTERLY 33.00 FEET THEREOF AND ALSO BEING SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.

**PARCEL 2: (TO BE ZONED I-2)**

A PARCEL OF LAND IN THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 10, T.14 N.-R4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION; THENCE N.00°-33'-37"W., ON AND ALONG THE WEST LINE OF SAID SECTION, 1323.74 FEET; THENCE N.89°-24'-55"E., ON AND ALONG THE SOUTH 1/8 LINE OF SAID SECTION, 448.96 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE N.00°-33'-37"W., PARALLEL WITH SAID WEST SECTION LINE, 529.39 FEET; THENCE N.89°-18'-54"E., ON AND ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION, 791.23 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF THE ANN ARBOR RAILROAD AND A POINT ON A CURVE TO THE LEFT HAVING A RADIUS OF 2013.00 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, 716.11 FEET TO A POINT ON SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING S.20°-38'-08"W., 712.34 FEET TO SAID POINT; THENCE S.89°-24'-55"W., ON AND ALONG THE SOUTH 1/8 LINE OF SAID SECTION, 533.67 FEET; BACK TO THE POINT OF BEGINNING, CONTAINING 9.74 ACRES OF LAND AND BEING SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.

R - RECORDED  
M - MEASURED  
□ - SET WOOD STAKE

○ - FOUND IRON  
● - SET IRON  
◎ - CONCRETE MONUMENT

⊕ - SECTION CORNER  
⊙ - 1/8 CORNER



## CMS & D

SURVEYING / ENGINEERING

1985 PARKLAND DRIVE, SUITE B  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

SCALE: 1" = 200'	DRAWN BY: WRE
SURVEY DATE: N/A	CHECKED BY: TELB
DATE: 5-30-17	JOB NUMBER: 1705-075
REVISED:	SHEET NUMBER: 2 OF 2



Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: G) Preliminary site plan review Cold Storage N. Harris(Crawford Rd.) PID 14-010-30-003-03 Coyne LLC**

**Applicant:** CMS&D Surveying and Engineering

**Owner:** Coyne LLC

**Location:** N. Harris(Crawford Rd.) Mt. Pleasant, MI 48858 PID 14-010-30-003-03

**Current Zoning:** I-2 General Industrial District

**Adjacent Zoning:** R-2A to the north, I-2 to the east, B-5 to the west across the road(City of Mt. Pleasant, Industrial to the south (City of Mt. Pleasant.)

**Future Land Use/Intent:** Industrial: Areas for factories and research facilities.

**Current Use:** vacant property

**Reason for Request:** Applicant proposes construction of five (5) 4,992sft cold storage pole buildings

**History:** Property is currently vacant. Applicant has applied for a Rezoning application at the same time of this preliminary site plan review.

**Objective of board:** The Planning Commission shall review site and make comments to applicant for what is needed for final site plan review.

**Recommend at this time a final site plan review be approved by the planning commission if the Rezoning of property is successful to include:**

- Requirements of Section 10, 12, and 27 adhered to.
- All requirements of outside agencies: Mt. Pleasant Fire Department, Isabella County Road Commission, MDOT, Isabella County Transportation Commission, Isabella County Drain Office for storm water management, Township Utilities be adhered to.

Peter Gallinat  
Twp Planner

## Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) **Preliminary Site Plan Review** Final Site Plan Review
- II. Applicant Name COYNE LLC
- III. Applicant Address 914 WEST PICKARD STREET, MT. PLEASANT, MI 48858
- IV. Applicant Phone 989-772-2270 Owner Phone SAME
- V. Applicant is (circle) Contractor Architect/Engineer Developer **Land Owner** (skip V& VI)  
Other
- VI. Land Owner Name SAME AS ABOVE
- VII. Land Owner Address SAME AS ABOVE
- VIII. Project/Business Name \_\_\_\_\_
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

<b>SUBMITTALS TO OTHER AGENCIES</b>	<b>Off</b>	
<b>Storm water management plan approval prior to application. Reviewed by the County Engineer</b>	<input type="checkbox"/>	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
<b>All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.</b>	<input type="checkbox"/>	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
<b>Mt. Pleasant Fire Dept.</b>	<input type="checkbox"/>	Sgt Randy Keeler (989) 779-5122, (2) copies
<b>Isabella Co Transportation Commission (ICTC)</b>	<input type="checkbox"/>	Rick (989) 773 2913, (2) copies
<b>WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)</b>		
<b>Hazardous Substances Reporting Form Part I and II</b> (Forms included in this packet)	<input type="checkbox"/>	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
<b>PERMIT INFORMATION - DEQ Check List</b>		
<b>SITE PLAN REQUIREMENTS</b>	<b>I Of</b>	<b>Comments - (also indicate any features which will not be included in the development or are not applicable)</b>
Name and addresses of Property Owner	✓	
Name and Address of Applicant	✓	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	✓	





## Union Township Site Plan Review Application 2015 Revision

The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	✓	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	✓	
The location and dimensions of all existing and proposed:	✓	
fire hydrants (within 400 feet of building) - - - -	✓	
drives, -----	✓	
sidewalks, (required) -----	✓	
curb openings, -----	✓	
acceleration/deceleration lanes, -----	N/A	
signs, -----	✓	
exterior lighting on buildings and parking lots, - -	✓	
parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), -----	✓	
recreation areas, -----	✓	
common use areas, -----	N/A	
areas to be conveyed for public use and purpose. -	N/A	
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	✓	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	✓	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	✓	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	✓	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	✓	


### Union Township Site Plan Review Application 2015 Revision

The zoning of the subject property and the abutting properties.	✓	
The location, height and type of fences and walls.	N/A	
The location and detailed description of landscaping.		
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	N/A	
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	✓	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.	N/A	

#### APPLICANT COMMENTS


**Union Township Site Plan Review Application 2015 Revision**

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws

  
\_\_\_\_\_  
Signature of Applicant

6/5/17  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Owner (if other than applicant)

6/5/17  
\_\_\_\_\_  
Date

PLEASE PLACE OUR REVIEW ON THE JUNE 20, 2017 (INSERT DATE)  
PLANNING COMMISSION MEETING. An owners representative  WILL NOT attend. You will not receive a reminder of the scheduled meeting.

# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: COYNE OIL CORPORATION

Name of business owner(s): DAVID COYNE AND MARK COYNE

Street and mailing address: 914 WEST PICKARD STREET, MT. PLEASANT, MI 48858  
989-772-2270

Telephone:

Fax: 989-772-0344

Email: David.D.Coyne@gmail.com

**I affirm that the information submitted is accurate.**

Owner(s) signature and date:

David D. Coyne 6/5/17  
David D. Coyne

Information compiled by:

David D. Coyne 6/5/17  
David D. Coyne

## Part 1: Management of Hazardous Substances and Polluting Materials

1. Y  N Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan
2. Y  N Will the hazardous substances or polluting materials be reused or recycle on-site??
3. Y  N — Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y N *na* Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household? *no tanks underground*
5. Y N *na* Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household? *underground*
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y  N — — Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank  
b. on-site system
- The on-site system must be approved by the MDEQ.  
Contact: MDEQ Waste Management Division.  
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y  N *na* Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

**Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used,  
Stored or Generated On-Site**

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
KEY: LIQ = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank				

*No Hazardous Substances and Polluting Materials  
will be stored or used on this site.*



## PERMIT INFORMATION

[www.michigan.gov/deqpermits](http://www.michigan.gov/deqpermits)

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsqguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM, WEBSITE AND CONTACTS:
<b>MISCELLANEOUS CONSTRUCTION</b>			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), <u>Permit Section</u>
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Asbestos Program</u>
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <u>Land and Water Management Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <u>Joint Permit Application</u>
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<u>Soil Erosion and Construction Storm Water</u> , or Contact your <u>Local Agency</u>
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	NPDES <u>Storm Water Permits Program</u> , or appropriate <u>DEQ District Office</u>
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Public Swimming Pool Program</u> , or appropriate <u>DEQ District Office</u>
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Endangered Species Assessment, <u>Threatened and Endangered Species Program</u> , 517-373-1552
Does the project involve <i>construction</i> or alteration of any <i>sewage collection or treatment</i> facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate <u>District Office</u> , WRD, Part 41 <u>Construction Permit Program</u>
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <u>Solid Waste</u> , Appropriate <u>DEQ District Office</u>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u>
<b>WATER SUPPLY (More information, see: <a href="http://www.michigan.gov/deqwater">http://www.michigan.gov/deqwater</a>; select: <u>drinking water</u>)</b>			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your <u>Local Water Utility</u>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <u>Local Health Department</u>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Guide</u> , Contact your (District or County) <u>Local Health Department</u>
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Community Water Supply</u> , <u>DEQ District Office Community Water Supply Program</u>

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year <i>floodplain</i> of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes <i>high risk erosion area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated <i>environmental area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated <i>critical dune area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a <i>dam</i> , weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
<b>NPDES:</b> Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>



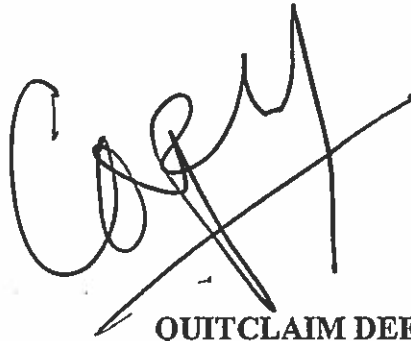
Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Web Site</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
<b>CHEMICAL ADDITION PROJECTS</b>			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
<b>PERSONAL LICENSES/CERTIFICATIONS</b>			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

<b>Water or Groundwater)?</b>		
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
<b>OIL, GAS AND MINERALS</b>		
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Protection Programs</u>
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>		
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

# COYNE OIL CORPORATION

Received  
ISABELLA COUNTY, MI  
05-24-2017 02:27 PM  
Received  
ISABELLA COUNTY, MI  
05-26-2017 11:23 AM

201700004514  
Filed for Record in  
ISABELLA COUNTY, MI  
KAREN R. JACKSON  
05-26-2017 At 11:33:32 am.  
QUIT C DEED 30.00  
Liber 1770 Page 434 - 450



## QUITCLAIM DEED

The Grantor, **MRP Properties Company, LLC**, a Michigan limited liability company, with an address of 1610 East Superior Street, Alma, MI 48801, quitclaims to the Grantee, **Coyne LLC**, a Michigan limited liability company, with an address of 914 W. Pickard Street, Mt. Pleasant, MI 48858, certain premises located in Union Township, Isabella County, Michigan, as legally described in attached **Exhibit A** (the "Conveyed Parcel"), pursuant and subject to the terms, conditions and provisions of a certain Agreement Regarding the Conduct of Environmental Activities dated as of May 15, 2017 between Grantor and (among other parties) Grantee, and to the terms, conditions and provisions of this Deed.

DO ASSURE PROPER RECORDATION AND RETURN TOP PORTION WITH YOUR REMITTANCE.

The consideration for this Deed is One Dollar (\$1.00).

The Conveyed Parcel may be located within the vicinity of farm land or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan right to farm act.

Grantor transfers to Grantee the right to make two (2) available division(s) under Section 108 of the land division act, Act No. 288 of the Public Acts of Michigan of 1967, which transfer is made without representation or warranty (whether express or implied, or as to the number, extent or nature of any available division rights, or otherwise) and without recourse to Grantor.

Title to and possession of the Conveyed Parcel are transferred and accepted subject to, and Grantee shall comply with all of the terms of, without limitation, the covenants and restrictions set forth in attached **Exhibit B**. Except with the express advance written approval of Grantor and the Michigan Department of Environmental Quality, Grantee and its successors and assigns shall not take or permit any action that would amend any of the covenants and restrictions set forth in attached **Exhibit B** or prevent the covenants and restrictions from running with the land comprising the Conveyed Parcel.

The Conveyed Parcel was associated with the operation of the former Roosevelt Refinery and the restricted portion of the Conveyed Parcel (the area included in the restricted area described and depicted in Exhibits 1 and 2 to attached Exhibit B) is included within a larger tract that is the subject of the Administrative Order on Consent ("**Order**") dated March 20, 1997 between the Michigan Department of Environmental Quality and the entity that was the operator of the Roosevelt Refinery, under the provisions of Part 201 of the Natural Resources and Environmental Protection Act, MCL 324.20101, *et seq.* The unrestricted portion of the

Please Remit To:  
4831-1994-6794.2  
085898\000037

Coyne Oil Corp.  
PO Box 9  
Mount Pleasant, MI 48804-0009

Conveyed Parcel (the area not included in the restricted area described and depicted in Exhibits 1 and 2 to attached Exhibit B) was originally within the "facility" governed by the Order but the MDEQ later determined to remove it from the "facility" scope. The Order requires the performance of certain response activities at certain real property identified in the Order. The entity that was the operator of the Roosevelt Refinery is a non-existent entity, its successor having been dissolved by law. Grantee has separately acknowledged in writing that (i) the restricted portion of the Conveyed Parcel is a part of a "facility" as that term is used in MCL 324.20116, (ii) Grantor has made the disclosures to Grantee described in MCL 324.20116, and (iii) Grantee has independently investigated and is aware of the environmental condition of the Conveyed Parcel.

In the event that any term or provision of this Deed is unenforceable or void in whole or in part, such provision shall be limited to the extent necessary to render the same valid and enforceable, or shall be excised from this Deed as circumstances require, and this Deed shall be construed as if the term or provision had been incorporated herein as so limited, or as if the term or provision had not been included herein, as the case may be.

PLEASE ENTER  
AMOUNT PAID  
IN THIS AREA

O ASSURE PROPER CREDIT TEAR This Deed is dated as of May 15, 2017.

*Signatures and acknowledgments follow  
The remainder of this page is intentionally blank*

4831-1994-6794.2  
085898\000037  
Please Remit To:  
Coyne Oil Corp.  
PO Box 9  
Mount Pleasant, MI 48804-0009

*exh* **MRP PROPERTIES COMPANY, LLC, a**  
Michigan limited liability company

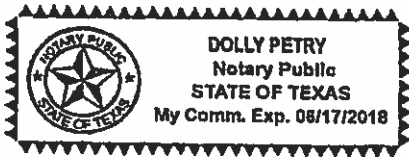
By: *[Signature]*  
Print Name: Kirk A. Saffell  
Its: Sr. Vice President

STATE OF Texas )  
 ) SS  
COUNTY OF Bexar )

PLEASE ENTER  
AMOUNT PAID  
IN THIS AREA

The foregoing instrument was acknowledged before me on May 15, 2017, by Kirk A. Saffell, who is Sr. Vice President of MRP Properties Company, LLC, a Michigan limited liability company, on behalf of the company.

ASSURE PROPER CREDIT OF PAID AND RETURN OF FORMS WITH YOUR REMITTANCE.



*[Signature]*  
Print Name: Dolly Petry  
Notary Public, Bexar County, Texas  
Acting in Bexar County  
My Commission Expires: 6/17/2018

**DRAFTED BY AND AFTER RECORDING RETURN TO:**

Brian J. Page  
Dykema Gossett PLLC  
300 Ottawa Ave., N.W., Suite 700  
Grand Rapids, MI 49503  
616-776-7509

Send Tax Bills to Grantee

County and State Transfer Tax: Exempt pursuant to MCL 207.505(a) and 207.526(a).  
Recording Fee: \$30.00

4831-1994-6794.2  
085898\000037

Please Remit To:

Coyne Oil Corp.  
PO Box 9  
Mount Pleasant, MI 48804-0009

**Exhibit A  
Conveyed Parcel Legal Description**

**DESCRIPTION OF PROPERTY PROVIDED:**

THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 LYING WEST OF THE ANN ARBOR RAILROAD, SECTION 10, T14N-R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN EXCEPT COMMENCING N01°-37'-03"E, 1323.71 FEET ALONG THE WEST SECTION LINE TO THE SOUTH 1/8 LINE, FROM THE SOUTHWEST CORNER; THENCE N01°-37'-03"E, 132.48 FEET; THENCE S81°-22'-57"E, 282.20 FEET; THENCE S01°-37'-03"W, 97.91 FEET; THENCE N88°-25'-07"W, 280.10 FEET TO THE POINT OF BEGINNING.

**DESCRIPTION OF PROPERTY AS SURVEYED:**

A PARCEL OF LAND IN THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 10, T.14 N.-R4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION; THENCE N.00°-33'-37"W., ON AND ALONG THE WEST LINE OF SAID SECTION, 1456.22 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING N.00°-33'-37"W., ON AND ALONG SAID WEST SECTION LINE, 529.39 FEET; THENCE N.89°-18'-54"E., ON AND ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION, 1240.18 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF THE ANN ARBOR RAILROAD AND A POINT ON A CURVE TO THE RIGHT HAVING A RADIUS OF 2013.00 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, 716.11 FEET TO A POINT ON SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING S.20°-38'-08"W., 712.34 FEET TO SAID POINT; THENCE S.89°-24'-55"W., ON AND ALONG THE SOUTH 1/8 LINE OF SAID SECTION, 702.53 FEET; THENCE N.00°-33'-37"W., PARALLEL WITH SAID WEST SECTION LINE, 97.91 FEET; THENCE N.83°-32'-54"W., 282.21 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 15.82 ACRES OF LAND AND BEING SUBJECT TO HIGHWAY USE OF THE WESTERLY 33.00 FEET THEREOF AND ALSO BEING SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.

Parcel No. 14-010-30-003-03

[Formerly a part of parcel no. 14-010-30-003-02]

**Please Remit To:**

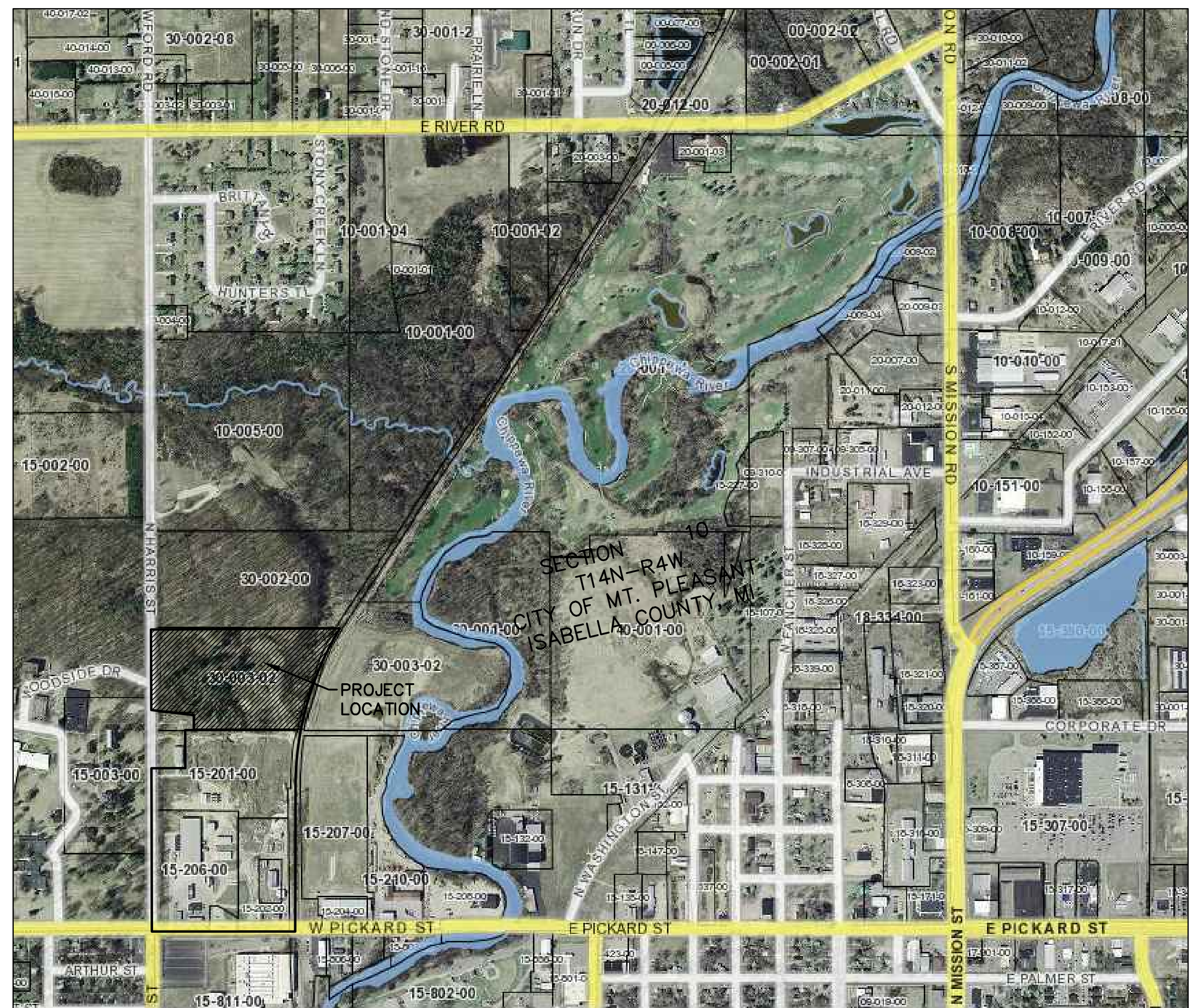
Coyne Oil Corp.  
PO Box 9  
Mount Pleasant, MI 48804-0009

# COYNE OIL CORPORATION COLD STORAGE SITE PLAN

**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com



**TOPOGRAPHIC SURVEY**  
COYNE OIL  
SECTION 10, T14N-R4W, CITY OF MT. PLEASANT,  
ISABELLA COUNTY, MICHIGAN



**LOCATION SKETCH**  
SCALE: 1" = 600'

I-2 ZONE	
MINIMUM FRONT YARD SETBACK	75 FT (A)
MINIMUM SIDE YARD SETBACK	20 FT (C)
MINIMUM REAR YARD SETBACK	50 FT (C)
MINIMUM LOT FRONTAGE	100 FT
MINIMUM LOT AREA (SQ FT)	50,000 SQ FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM LOT COVERAGE (%)	--

- A. OFF-STREET PARKING SHALL BE PERMITTED TO OCCUPY A PORTION OF THE REQUIRED FRONT YARD, PROVIDED THAT THERE SHALL BE MAINTAINED A MINIMUM UNOBSTRUCTED AND LANDSCAPED SETBACK OF TEN (10) FEET BETWEEN THE NEAREST POINT OF THE OFF-STREET PARKING AREAS, EXCLUSIVE OF ACCESS DRIVEWAYS AND THE NEAREST RIGHT-OF-WAY LINE AS INDICATED ON THE MAJOR THOROUGHFARE PLAN.
- C. A LOT IN THE I-1 OR I-2 DISTRICT WILL PROVIDE A SIDE AND REAR YARD OF AT LEAST SIXTY (60) FEET IN DEPTH WHEN ABUTTING A RESIDENTIAL USE OR DISTRICT

**BENCHMARK:**  
BENCHMARK: NW CORNER OF 14'x14' CONCRETE PAD WITH 8" DIA. LIQUID NITROGEN TANK ON WEST SIDE OF METAL BUILDING SHOWN.  
ELEVATION: 763.47

**MISS DIG:**  
FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

**UTILITY NOTE:**  
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND, UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND		
SYMBOLS		
○ BOLLARD	⊠ GAS RISER	⊕ SOIL BORING
⊠ CATCH BASIN (CURB INLET)	⊠ GUY ANCHOR	⊕ STORM SEWER MANHOLE
⊠ CATCH BASIN (ROUND)	⊠ HYDRANT - EXISTING	⊕ TELEPHONE RISER
⊠ CATCH BASIN (SQUARE)	⊠ HYDRANT - PROPOSED	● TREE - CONIFEROUS
○ CLEAN OUT	⊠ LIGHT POLE	● TREE - DECIDUOUS
→ DRAINAGE FLOW	⊠ MAILBOX	⊕ UTILITY POLE
⊠ ELECTRICAL BOX	⊠ MONITORING WELL	⊕ WATER MAIN VALVE
⊕ FOUND CONC. MONUMENT	⊕ SANITARY SEWER MANHOLE	⊕ WATER SHUT-OFF
○ FOUND IRON	● SET IRON	⊕ WATER WELL
⊠ GAS MAIN VALVE	⊠ SIGN	⊕ WOOD STAKE

LINETYPES		HATCH PATTERNS	
—ELEC—	BURIED ELECTRICAL CABLE	▨	ASPHALT - EXISTING
—PHONE—	BURIED TELEPHONE CABLE	▨	ASPHALT - PROPOSED
—DITCH—	CENTERLINE OF DITCH	▨	CONCRETE
—FM—	FORCE MAIN	▨	GRAVEL
—GAS—	GAS MAIN	▨	LANDSCAPING
—RD—	ROAD CENTERLINE	▨	RIP-RAP
—8" SAN—	SANITARY SEWER		
—12" SS—	STORM SEWER		
—EX-TOS—	TOE OF SLOPE		
—EX-TOP—	TOP OF BANK		
—OHC—	UTILITIES - OVERHEAD		
—UTL—	UTILITIES - UNDERGROUND		
—12" WM—	WATER MAIN		

**SUPPLIED DESCRIPTION OF ENTIRE PARCEL:**

A PARCEL OF LAND IN THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 10, T14 N-R4 W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION; THENCE N.00°-33'-37"W, ON AND ALONG THE WEST LINE OF SAID SECTION, 1456.22 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING N.00°-33'-37"W, ON AND ALONG SAID WEST SECTION LINE, 529.39 FEET; THENCE N.89°-18'-54"E, ON AND ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION, 1240.18 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF THE ANN ARBOR RAILROAD AND A POINT ON A CURVE TO THE LEFT HAVING A RADIUS OF 2013.00 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, 716.11 FEET TO A POINT ON SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING S.20°-38'-08"W, 712.34 FEET TO SAID POINT; THENCE S.89°-24'-55"W, ON AND ALONG THE SOUTH 1/8 LINE OF SAID SECTION, 702.53 FEET; THENCE N.00°-33'-37"W, PARALLEL WITH SAID WEST SECTION LINE, 97.91 FEET; THENCE N.83°-32'-54"W, 282.21 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 15.82 ACRES OF LAND AND BEING SUBJECT TO HIGHWAY USE OF THE WESTERLY 33.00 FEET THEREOF AND ALSO BEING SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.

**SUBJECT PARCEL PARCEL 2:**

A PARCEL OF LAND IN THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 10, T14 N-R4 W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION; THENCE N.00°-33'-37"W, ON AND ALONG THE WEST LINE OF SAID SECTION, 1323.74 FEET; THENCE N.89°-24'-55"E, ON AND ALONG THE SOUTH 1/8 LINE OF SAID SECTION, 448.96 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE N.00°-33'-37"W, PARALLEL WITH SAID WEST SECTION LINE, 529.39 FEET; THENCE N.89°-18'-54"E, ON AND ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION, 791.23 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF THE ANN ARBOR RAILROAD AND A POINT ON A CURVE TO THE LEFT HAVING A RADIUS OF 2013.00 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, 716.11 FEET TO A POINT ON SAID CURVE; SAID ARC BEING SUBTENDED BY A CHORD BEARING S.20°-38'-08"W, 712.34 FEET TO SAID POINT; THENCE S.89°-24'-55"W, ON AND ALONG THE SOUTH 1/8 LINE OF SAID SECTION, 533.67 FEET; BACK TO THE POINT OF BEGINNING, CONTAINING 9.74 ACRES OF LAND AND BEING SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.

**SHEET INDEX**

SHEET 1.....	COVER SHEET
SHEET 2.....	TOPOGRAPHIC SURVEY &
SHEET 3.....	GRADING, STORM WATER, SOIL EROSION AND SITE PLAN
SHEET 4.....	CONSTRUCTION DETAILS & NOTES

<p><b>CHARTER COMMUNICATIONS</b> 915 E. BROOMFIELD ROAD MT. PLEASANT, MI 48858 (989) 621-4932 RANDY BUNKER rbunker@chartercom.com</p>	<p><b>CHARTER TOWNSHIP OF UNION</b> PUBLIC WATER/PUBLIC SEWER 2010 N. LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 24 KIM SMITH ksmith@uniontownshipmi.com</p>
<p><b>CONSUMERS ENERGY</b> 1325 WRIGHT AVENUE ALMA, MI 48801 1-800-477-5050</p>	<p><b>CHARTER TOWNSHIP OF UNION</b> PLANNING &amp; ZONING 2010 NORTH LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 241 PETER GALLINAT pgallinat@uniontownshipmi.com</p>
<p><b>FRONTIER</b> 345 PINE STREET ALMA, MI 48801 (989) 463-0392 MARK A. MARSHALL mark.marshall@fr.com</p>	<p><b>DRAIN COMMISSIONERS OFFICE</b> ISABELLA COUNTY BUILDING 200 NORTH MAIN STREET ROOM 140 MT. PLEASANT, MI 48857 (989) 772-0911 ext 247 ROBERT WILLOUGHBY drain@isabellacounty.org</p>
<p><b>DTE ENERGY</b> 4420 44TH ST., S.E., SUITE B KENTWOOD, MI 49512 (616) 954-4623 MARY JO MCKERSIE mckersiem@dteenergy.com</p>	<p><b>ISABELLA COUNTY ROAD COMMISSION</b> 2261 EAST REMUS ROAD MT. PLEASANT, MI 48858 (989) 773-7131 EXT 115 PATRICK GAFFNEY PGaffney@isabellaroads.com</p>
<p><b>MT. PLEASANT FIRE DEPARTMENT</b> 804 EAST HIGH STREET MT. PLEASANT, MI 48858 (989) 779-5100 EXT 5122 SGT. RANDY KEELER rkeeler@mt-pleasant.org</p>	

**SITE ADDRESS:** COYNE OIL CORPORATION  
P.O. BOX 9  
914 WEST PICKARD STREET  
MT. PLEASANT, MI 48858

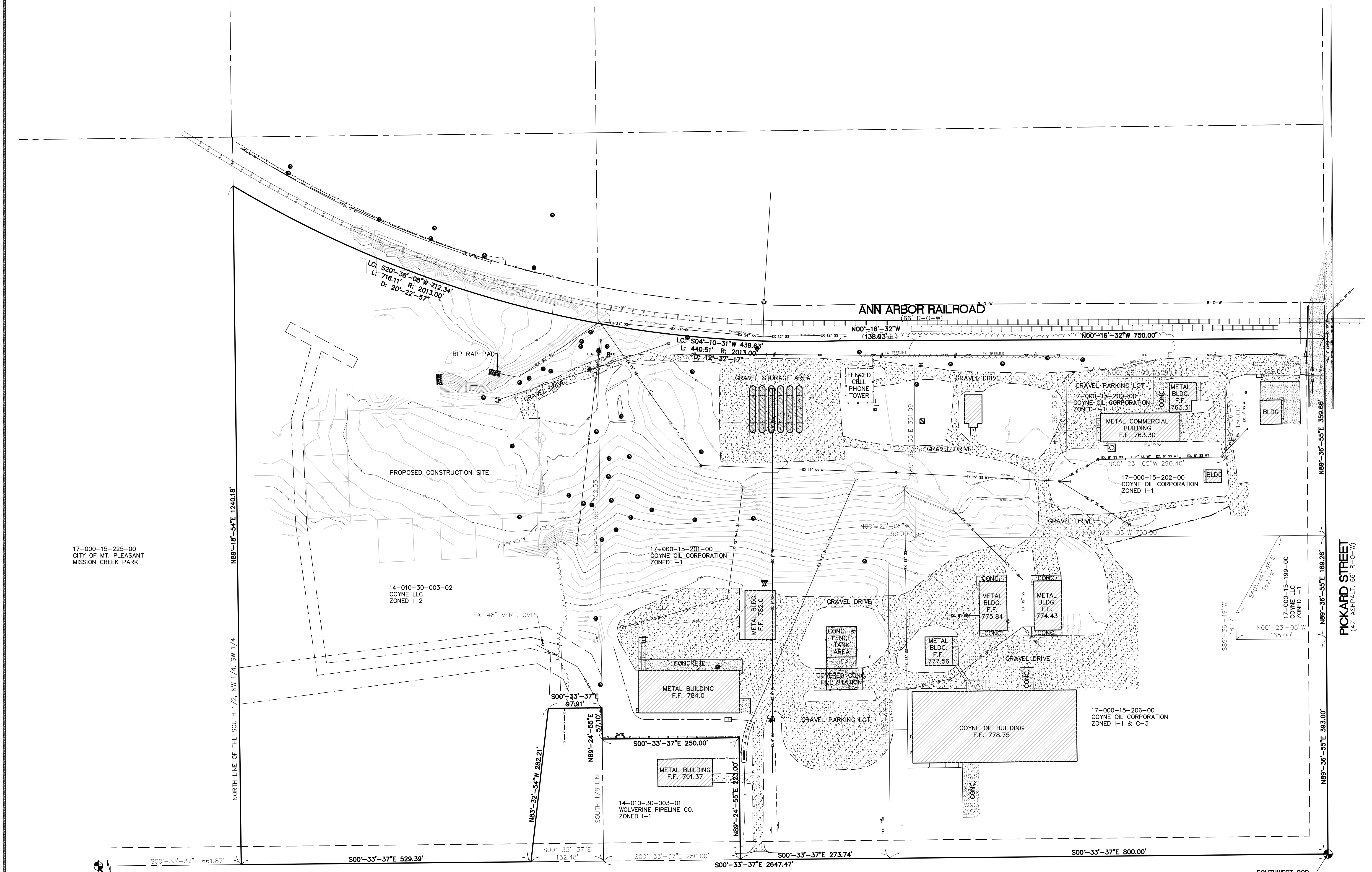
**DEVELOPER:** COYNE OIL CORPORATION  
P.O. BOX 9  
914 WEST PICKARD STREET  
MT. PLEASANT, MI 48858  
CONTACT PERSON: DAVE COYNE  
PHONE: (989) 772-2270

**CONSULTANT:** CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.  
510 WEST PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
CONTACT PERSON: TIMOTHY E BEBEE  
PHONE: (989) 775-0756  
FAX: (989) 775-5012

REVISIONS:	DATE	DESCRIPTION

JOB NUMBER:	1612-163
SCALE:	SHOWN
DRAWN BY:	RLW/WRE
DESIGNED BY:	TELB
CHECKED BY:	TELB
SHEET NUMBER:	1 OF 4



**CMS & D**  
 SURVEYING / ENGINEERING  
 510 W. PICKARD STREET, SUITE C  
 MT. PLEASANT, MICHIGAN 48858  
 MT. PHONE: (989) 775-0756  
 FAX: (989) 775-5012  
 EMAIL: info@cms-d.com



**TOPOGRAPHIC SURVEY**  
**COYNE OIL**  
 SECTION 10, T14N-R4W, CITY OF MT. PLEASANT,  
 ISABELLA COUNTY, MICHIGAN

SCALE	1" = 80'
SHEET NUMBER	2 OF 4
SUBMITTALS: UNION TOWNSHIP PLANNING COMMISSION 6-6-17	
JOB NUMBER:	1612-163
DRAWN BY:	RLJ/WRE
DESIGNED BY:	TELB
CHECKED BY:	TELB
REVISIONS:	

WEST 1/4 COR.  
 SEC. 10 T14N-R4W  
 FND. REMON COR.  
 PER LCRC L.2, P. 183

**CRAWFORD ROAD**  
 (22' ASPHALT, 66' R-O-W)

**PICKARD STREET**  
 (42' ASPHALT, 66' R-O-W)

**ANN ARBOR RAILROAD**  
 (66' R-O-W)

SOUTHWEST COR.  
 SEC. 10 T14N-R4W  
 FND. REMON COR.  
 PER LCRC L. 1, P. 271



- SOIL EROSION GENERAL NOTES:**
- PRIOR TO ANY SITE WORK, CONTRACTOR MUST INSTALL TEMPORARY CONSTRUCTION ENTRANCE AND SILT FENCE AS SHOWN ON THE PLANS. IF GRADING AND SHAPING IS TO BE USED IN LIEU OF SILT FENCE, THIS WORK MUST BE CARRIED OUT PRIOR TO STRIPPING OF TOPSOIL.
  - CONTRACTOR TO INSTALL TEMPORARY SEDIMENTATION COLLECTION BAGS IN EACH CATCH BASIN LOCATED IN THE ROADWAYS OR PARKING LOTS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE & REPLACEMENT OF BAGS AS NEEDED. BAGS TO BE REMOVED ONLY AFTER SITE HAS BEEN STABILIZED AT THE COMPLETION OF CONSTRUCTION.
  - CONTRACTOR TO STOCKPILE SOIL ON SITE AT A MAXIMUM SLOPE OF 1 ON 3. ALL SPOIL PILES ARE TO BE SEEDED TO MAINTAIN SLOPE STABILITY.
  - EXCESS TOPSOIL IS TO BE REMOVED FROM SITE. CONTRACTOR TO COORDINATE THESE ACTIVITIES WITH PROPERTY OWNER. CONTRACTOR TO ENSURE THAT A MINIMUM 50' BUFFER STRIP IS MAINTAINED BETWEEN ALL STOCKPILES & PROPERTY LINE.
  - ALL STOCKPILES THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN 30 DAYS ARE TO BE SEEDED AND STABILIZED.
  - CONTRACTOR WILL TAKE ALL NECESSARY STEPS TO ELIMINATE SOILS/SEDIMENT FROM LEAVING THE PROJECT SITE.
  - THE CONTRACTOR MUST KEEP STREETS FREE OF SEDIMENTATION OR TAKE STEPS TO CLEAN STREETS.
  - SOIL EROSION MAY ALSO OCCUR WHEN SOILS ARE DRY. SOIL EROSION DUE TO BLOWING WINDS MUST BE MINIMIZED BY USE OF WATER TANK TRUCKS.
  - AS SOON AS POSSIBLE SOILS WILL BE COMPACTED TO MINIMIZE SOIL EROSION. IF SOILS ARE LEFT UNCOMPACTED FOR LENGTHY PERIODS THEY MUST BE SEEDED TO MINIMIZE SOIL EROSION.
  - TEMPORARY MEASURES SHALL STAY IN PLACE UNTIL THE CONSTRUCTION ACTIVITIES HAVE ENDED AND/OR THE PERMANENT MEASURES ARE COMPLETED.
  - UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR MUST CLEAN ALL SUMPS AND SEDIMENTATION TRAPS.
  - CONTRACTOR IS TO ENSURE THAT ALL CONTROL MEASURES ARE ADEQUATELY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

**MICHIGAN UNIFIED KEYING SYSTEM**  
**SOIL EROSION & SEDIMENTATION CONTROL MEASURES**

KEY	DETAIL	CHARACTERISTICS	KEY	DETAIL	CHARACTERISTICS
1		Topsoil may be stockpiled above borrow areas to act as a diversion. Stockpiles should be temporarily seeded.	21		Constructed of gravel or stone. Intercepts and diverts runoff to stabilized areas or prepared drainage systems. Slows runoff and collects sediment.
2		Water can be diverted to minimize erosion. Flatter slopes ease erosion problems.	35		System removes collected runoff from site, particularly from paved areas. Can accept large concentrations of runoff. Conducts runoff to municipal sewer system or stabilized outfall location. Use catch basins to collect sediment.
6		Facilitates establishment of vegetative cover. Effective for drainage ways with low velocity. Easily placed in small quantities by inexperienced personnel. Should include prepared topsoil bed.	NOTE: <b>XXT</b> <b>XXP</b>		
13		Used where vegetation is not easily established. Effective for high velocities or high concentration. Permits runoff to infiltrate soil. Disipates energy flow at system outlets.	NOTE: <b>35P</b> <b>36P</b>		
14		Stabilizes soil surface, thus minimizing erosion. Permits construction traffic in adverse weather. May be used as part of permanent base construction of paved areas.	TYPICAL FOR ENTIRE STORM SEWER SYSTEM		

**\*SINGLE NET STRAW BLANKET (90 DAY)\***

- MUST CONTAIN 100% WHEAT STRAW
- MUST BE SINGLE POLYPROPYLENE, RAPID PHOTODEGRADABLE NETTING.
- MUST HAVE NYLON PHOTODEGRADABLE THREAD.
- TERMED AS APPROX. 3 MONTH LIFE SPAN.
- MUST CONFORM TO THE FEDERAL HIGHWAY ADM. STANDARDS FOR FULLY PHOTO/BIODEGRADABLE BLANKET MATERIAL.

EXAMPLE OF ACCEPTABLE MATERIAL:  
 ENVROSCAPE - 51000 SINGLE NET STRAW BLANKET.

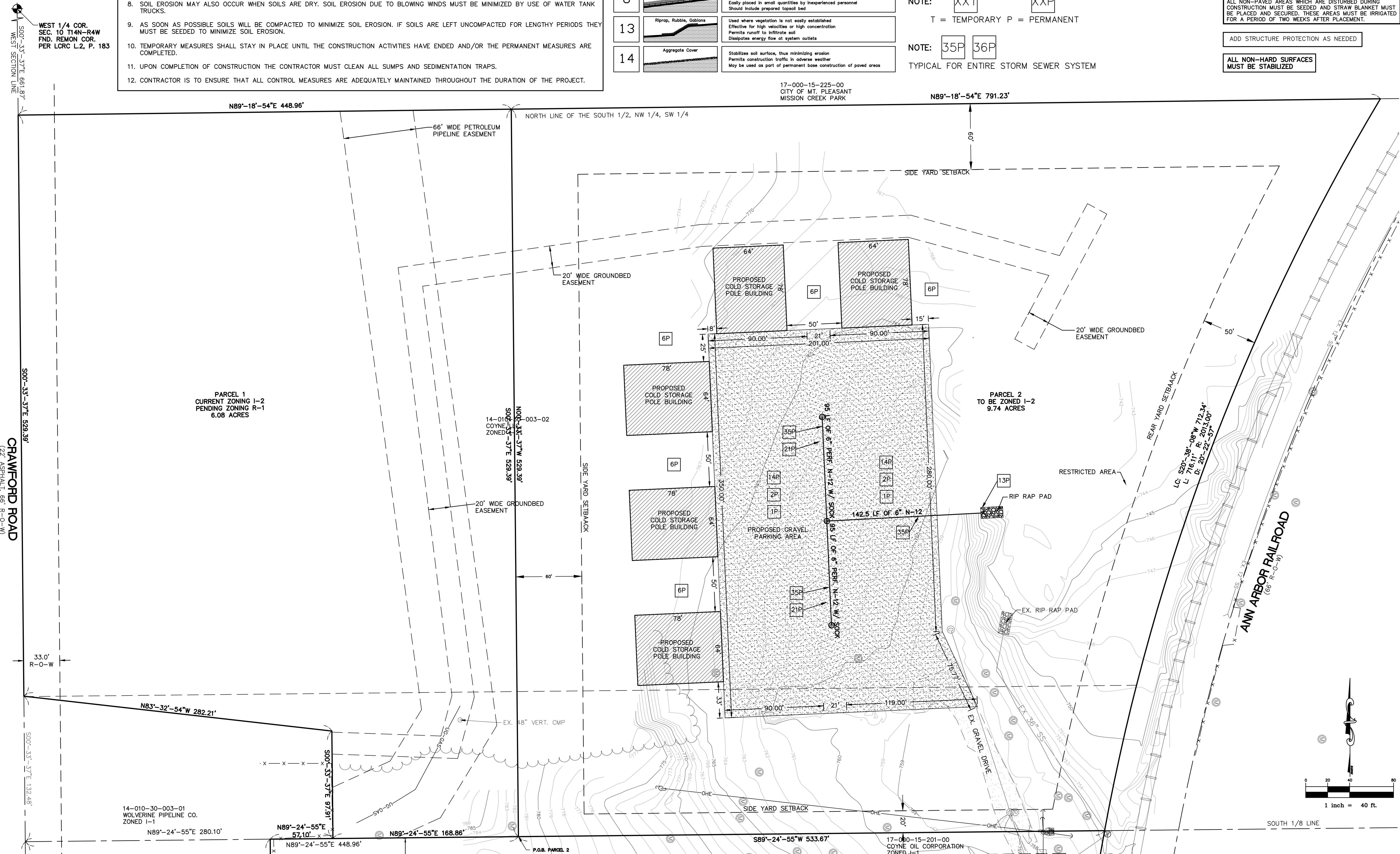
NOTE:  
 CONTRACTOR TO INVESTIGATE SITE FOR IRRIGATION SYSTEM WITHIN LANDSCAPED AREAS PRIOR TO CONSTRUCTION. SPRINKLER HEADS AND CONTROL VALVES TO BE PROTECTED AND REPLACED IF DAMAGED.

NOTE:  
 A MINIMUM OF 4-6" OF TOPSOIL MUST BE EITHER IN PLACE OR PLACED AND GRADED PRIOR TO SEEDING.

ALL NON-PAVED AREAS WHICH ARE DISTURBED DURING CONSTRUCTION MUST BE SEEDED AND STRAW BLANKET MUST BE PLACED AND SECURED. THESE AREAS MUST BE IRRIGATED FOR A PERIOD OF TWO WEEKS AFTER PLACEMENT.

ADD STRUCTURE PROTECTION AS NEEDED

ALL NON-HARD SURFACES MUST BE STABILIZED



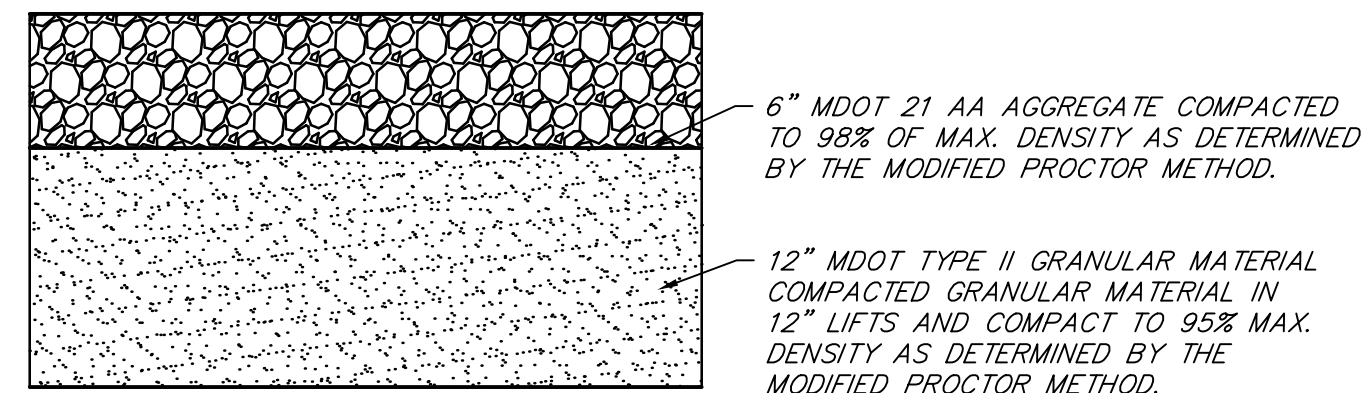
WEST 1/4 COR.  
 SEC. 10 T14N-R4W  
 FND. REMON COR.  
 PER LCRC L.2, P. 183

17-000-15-225-00  
 CITY OF MT. PLEASANT  
 MISSION CREEK PARK

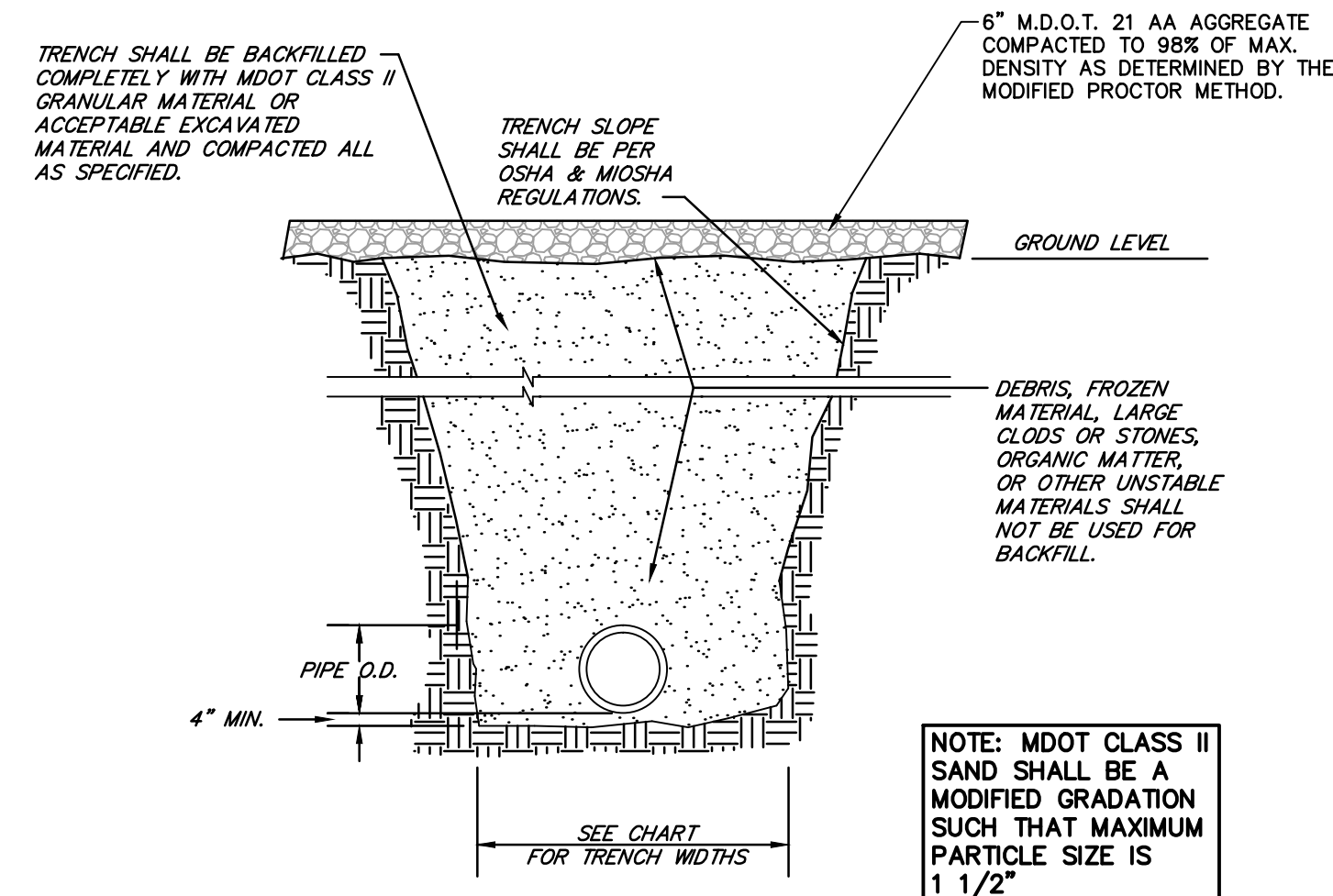
**CMS & D**  
 SURVEYING / ENGINEERING  
 510 W. PICKARD STREET, SUITE C  
 MT. PLEASANT, MICHIGAN 48858  
 MT. PHONE: (989) 775-0756  
 FAX: (989) 775-5012  
 EMAIL: info@cms-d.com

**GRADING, STORM WATER, SOIL EROSION  
 AND SITE PLAN**  
 COYNE OIL  
 SECTION 10, T14N-R4W, CITY OF MT. PLEASANT,  
 ISABELLA COUNTY, MICHIGAN

REVISIONS:	
SUBMITTALS:	
UNION TOWNSHIP PLANNING COMMISSION 6-6-17	
JOB NUMBER: 1612-163	
DRAWN BY: RLL/WRE	
DESIGNED BY: TELB	
CHECKED BY: TELB	
SCALE: 1" = 40'	
SHEET NUMBER: 3	OF 4



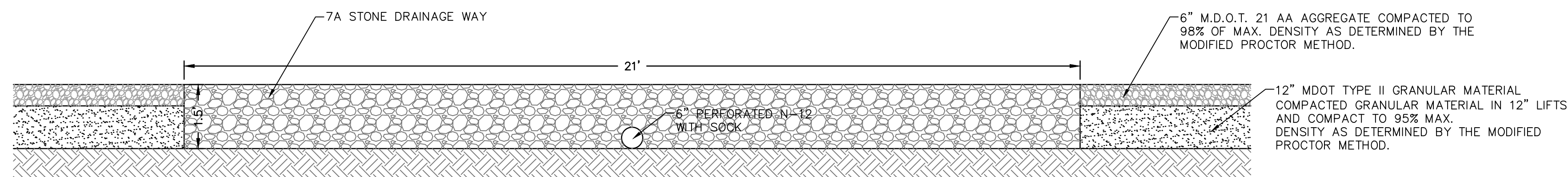
**GRAVEL PARKING LOT CROSS-SECTION**  
NOT TO SCALE



**P.V.C. PIPE TRENCH DETAIL**  
NOT TO SCALE

**TRENCH WIDTH CHART**

PIPE SIZE	MINIMUM	MAXIMUM
8" & 10"	24"	30"
12" & 15"	30"	36"
18"	34"	40"
21"	39"	42"
24"	42"	46"
27"	45"	49"
30"	49"	53"
36"	56"	60"
LARGER THAN 36"	I.D. +20"	I.D. +24"



**STONE DRAINAGE WAY CROSS-SECTION**  
NOT TO SCALE

**GENERAL NOTES:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS REQUIRED FOR WORKING WITHIN THE ROAD RIGHT-OF-WAY PRIOR TO COMMENCING CONSTRUCTION, WITHIN THESE AREAS.

ROOF WATER FROM THE PROPOSED BUILDING SHALL BE COLLECTED AND CONNECTED TO THE PROPOSED HEADERS AND/OR LEADS ALONG THE BUILDING. COORDINATION WITH THE BUILDING CONTRACTOR PRIOR TO INSTALLATION OF THE HEADERS AND/OR LEADS IS REQUIRED.

THE PROPOSED ELEVATIONS SHOWN ARE TOP OF WALK, TOP OF CURB, FINISHED ASPHALT SURFACE AND GUTTER PAN ELEVATIONS, UNLESS OTHERWISE NOTED.

ALL DRIVEWAY APPROACHES SHALL BE CONSTRUCTED IN ACCORDANCE CITY OF MT. PLEASANT STANDARDS.

CONSTRUCTION PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF MICHIGAN, COUNTY OF ISABELLA AND CITY OF MT. PLEASANT.

SITE CONCRETE PADS SHALL BE 4000 PSI AND REINFORCED WITH 6X6 W2.9 X W2.9. THICKNESS OF CONCRETE SHALL CONFORM TO THE PLANS. THE CONCRETE PADS ADJACENT TO THE BUILDING SHALL BE TAKEN OFF FROM THE ARCHITECTURAL PLANS AND THE CONSTRUCTION OF THE PADS SHALL BE COORDINATED WITH THE BUILDING CONTRACTOR.

DIMENSIONS SHOWN ON THE PLANS ARE GIVEN TO THE BACK OF CURB, FACE OR BACK OF WALK OR THE BUILDING OUTSIDE LINES.

**GENERAL NOTES:**

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY CONSTRUCTION OR PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR WHERE POSSIBLE CONFLICTS EXIST PRIOR TO BEGINNING CONSTRUCTION.

THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY GROUND CONDITIONS, EXISTING UTILITIES, LOT AND BUILDING DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THE PLANS. ARRANGE TO HAVE UTILITIES IDENTIFIED AND FLAGGED BEFORE STARTING CONSTRUCTION. THE OWNER ASSUMES NO LIABILITY FOR THE LOCATION OF UTILITIES. ALL DAMAGES MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL CONSTRUCTION UNDER EXISTING OR PROPOSED PAVEMENT, EXISTING OR PROPOSED UTILITIES (INCLUDING LEADS), SHALL BE COMPLETELY BACKFILLED WITH SAND IN 12" LAYERS, AND COMPACTED TO NOT LESS THAN 95% OF ITS MAXIMUM UNIT WEIGHT, AS DETERMINED BY THE MODIFIED PROCTOR METHOD. THE COST IS TO BE INCLUDED IN THE UNIT PRICE BID FOR EACH ITEM.

THE CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENTATION CONTROL ACT PART 91 OF PUBLIC ACT 451 OF 1994, AS AMENDED.

GEOTEXTILE FILTER BAGS SHALL BE USED AT ALL CATCH BASINS FOR SOIL AND SEDIMENTATION CONTROL. ALL CATCH BASINS SHALL BE CLEANED UPON COMPLETION OF THE PROPOSED PROJECT. COST FOR CLEANING THE CATCH BASINS SHALL BE INCLUDED IN THE COSTS FOR THE DRAINAGE STRUCTURES.

THE CONTRACTOR SHALL SEED AND FERTILIZE BANKS AND ANY OTHER DISTURBED AREAS AS SHOWN ON THE PLANS AND/OR DESCRIBED IN THE SPECIFICATIONS.

THE CONTRACTOR SHALL BACKFILL, COMPACT AND FINE GRADE ALL AREAS BETWEEN THE CURBS AND PAVEMENT AND THE PROPERTY LINES WITH TOPSOIL SUITABLE FOR LANDSCAPING. THE GRADES IN THESE AREAS WILL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

THE UNPAVED AREAS SHALL BE SMOOTHLY GRADED AND THE SURFACE STABILIZED BY SEEDING AS STATED ON THE PLANS. THE MAXIMUM DESIRABLE SLOPE IS 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE STATED.

BROKEN CONCRETE AND DEBRIS SHALL BE CONSIDERED WASTE TO BE DISPOSED OF BY THE CONTRACTOR.

ALL DEWATERING REQUIRED FOR CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE BID.

ALL JOINTS AT INTERSECTION APPROACHES AND DRIVEWAYS SHALL BE SAWCUT WITH BUTT-JOINTS. THE COST SHALL BE INCLUDED WITH THE PAYMENT FOR EXCAVATION.

THE CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES ON THE PROJECT. THE COST IS TO BE INCLUDED IN THE LUMP SUM FEE.

ALL WATER VALVE BOXES, ELECTRICAL BOXES, GAS VALVES AND ANY OTHER EXISTING UTILITY STRUCTURES ON THE SITE SHALL BE ADJUSTED TO FINISHED GRADE. THE COST SHALL BE INCLUDED IN THE LUMP SUM FEE.

**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com



**CONSTRUCTION DETAILS & NOTES**  
COYNE OIL  
SECTION 10, T14N-R4W, CITY OF MT. PLEASANT,  
ISABELLA COUNTY, MICHIGAN

SCALE	SHOWN	SHEET NUMBER	4 OF 4
JOB NUMBER:	1612-163	DRAWN BY:	RLI/WRE
SUBMITTALS:	UNION TOWNSHIP PLANNING COMMISSION 6-6-17	DESIGNED BY:	TELB
REVISIONS:		CHECKED BY:	TELB



Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: H) Preliminary site plan review Assisted Senior living/independent senior living S. Lincoln Rd. MT PLEASANT, MI 48858 PID 14-020-20-001-03**

**Applicant:** CMS&D Surveying and Engineering

**Owner:** Mt Pleasant Investment Properties LLC

(Authorized by current owner Figg, Richard & Betty)

**Location:** S. Lincoln Rd. MT PLEASANT, MI 48858 PID 14-020-20-001-03

**Current Zoning:** R-3A Multiple Family Residential District

**Adjacent Zoning:** B-5/R-3A to the north across the road, B-5/R-2A to the east, B-5 to the west, R-3A to the south.

**Future Land Use/Intent:** High Density Residential: Primarily high density housing with mixed neighborhood commercial uses.

**Current Use:** vacant property

**Reason for Request:** Applicant proposes assisted senior living facility.

**History:** The proposed location of the Public and Institutional use is currently vacant. In addition to the public and Institutional use the applicant has proposed independent senior living on the property as well. This is a permitted use under section 18.2.A in the zoning code as multiple family dwellings of four or less units

The current owner of the property is Figg, Richard & Betty. Mt Pleasant Investment Properties LLC has been authorized to seek a special use for Public and Institutional Use. The location of the Public and Institutional use and independent senior living will be owned by Mt. Pleasant Investment Properties LLC. Applicant has applied for a special use permit for public and institutional use at the same time.

**Objective of board:** The Planning Commission shall review site and make comments to applicant for what is needed for final site plan review.

**Recommend at this time a final site plan review be approved by the planning commission if the Special use permit for Public and Institutional use is approved to include:**

- Requirements of Section 10, 12, 17 and 30 adhered to.
- All requirements of outside agencies: Mt. Pleasant Fire Department, Isabella County Road Commission, MDOT, Isabella County Transportation Commission, Isabella County Drain Office for storm water management, Township Utilities be adhered to.

Peter Gallinat  
Twp Planner

## Union Township Site Plan Review Application 2015 Revision

### INSTRUCTIONS

- All items in this list must be included in the drawing unless exempted by ordinance or specifically noted as not included. Incomplete submissions may not be forwarded to the Planning Commission for review. All features of the plan must conform to the Union Township Zoning Ordinance 1991-5 and other state and local ordinances and laws as applicable. Union Township Well Head Protection documents are a part of Site Plan Review and required with your Site Plan submission.
  - To expedite this process you should make Storm Water Management and Road Permit Applications as soon as possible, and submit a copy of the site plan to the Mt. Pleasant Fire Department. Site plans received prior to these outside approvals may be reviewed as Preliminary Site Plan Reviews and may require a Final Site Plan Review submission after receiving outside agency approvals. You may elect to receive a Preliminary Review by the Planning Commission prior to other submittals. Contact the appropriate agency for their submission requirements and any required forms.
  - **Special Use Permits:** Uses requiring a Special Use Permit have both a special use permit approval process and a site plan review. The fee\* for a Special Use Permit is in addition to the site plan review fee\*. This form and a Special Use Permit Application must accompany application for a Special Use Permit. The Planning Commission will make a recommendation to the Charter Township of Union Board who has approval authority, thus requiring two meetings, one of the commission and one of the board. If desired, the applicant may elect to have the Public hearing with a preliminary plan showing sufficient detail to determine the impact on the surrounding properties, and address other issues of concern, and then proceed to final Site Plan Review. In this approach the commission will make its finding subject to final site plan approval at the first meeting, and the applicant will return with a detailed drawing meeting all the elements of site plan review, including submission to outside agencies.
  - **SUBMISSION DEADLINE:** Ten copies of the site plan and this completed check list must be submitted no less than 14 days prior to the Planning Commission meeting. The Planning Commission meets at 7:00 PM on the third Tuesday of each month. A Site Plan Review fee\* must accompany each submission. You will not receive any notification prior to your scheduled meeting; it is your responsibility to show up at the meeting. If you are uncertain, call the Zoning administrator at (989) 772 4600 ext 41
  - Applicants may submit a single copy of the plan and check list prior to the submission deadline to the zoning administrator for review and comment.
  - Land Owner (or his / her agent) is responsible to apply for all permits, including Building, Grading and Zoning permit, Sign Permit, Water and Sewer, and Land Divisions (if applicable) AFTER Planning Commission review and approval. The proposed use shall be constructed per the submitted plan including any conditions of approval. Minor revisions may be approved by the zoning administrator. Consult with the township before implementing any changes to the approved site plan.
-

## Union Township Site Plan Review Application 2015 Revision

**FILL OUT THE FOLLOWING**

- I. This application is for (circle one) Preliminary Site Plan Review ~~Final Site Plan Review~~
- II. Applicant Name ~~Isabella County~~ MOUNT PLEASANT INVESTMENT PROPERTIES, LLC
- III. Applicant Address 2937 Atwood Dr. Suite 200, Okemos, MI 48864
- IV. Applicant Phone 231.947.7908 x115 Owner Phone \_\_\_\_\_
- V. Applicant is (circle) Contractor ~~Architect/Engineer~~ ~~Developer~~ ~~Land Owner~~ (skip V & VI)  
Other
- VI. Land Owner Name .....
- VII. Land Owner Address .....
- VIII. Project/Business Name Mt. Pleasant Investment Properties LLC
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES		Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer			Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.			MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.			Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)			Rick (989) 773 2913, (2) copies
<b>WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)</b>			
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)			Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
<b>PERMIT INFORMATION - DEQ Check List</b>			
<b>SITE PLAN REQUIREMENTS</b>	<b>I</b>	<b>Of</b>	<b>Comments - (also indicate any features which will not be included in the development or are not applicable)</b>
Name and addresses of Property Owner	✓		
Name and Address of Applicant			
Provide Construction Type (per MI Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	✓		<del>IIA</del> ALL (sprinkled) IIA - MAIN BUILDING IB - Cottages

**Union Township Site Plan Review Application 2015 Revision**

<p>The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.</p>	✓	
<p>All lot and/or property lines are to be shown and dimensioned, including building setback lines</p>	✓	
<p>The location and dimensions of all existing and proposed:          fire hydrants (within 400 feet of building) - - -          drives, _____          sidewalks, (required ) _____          curb openings, _____          acceleration/deceleration lanes, _____ N/A          signs, _____          exterior lighting on buildings and parking lots, - -          parking areas (including handicapped parking spaces, barrier-free building access, unloading areas), _____          recreation areas, _____          common use areas, _____          areas to be conveyed for public use and purpose. -</p>	✓	
<p>Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation</p>	✓	SEE RENDERING PACKAGE
<p>Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.</p>	✓	<p>Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department</p>
<p>All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)</p>	✓	
<p>The location and right-of-way width of all abutting roads, streets, alleys and easements.</p>	✓	
<p>A locational sketch drawn to scale giving the section number and the nearest crossroads.</p>	✓	

**Union Township Site Plan Review Application 2015 Revision**

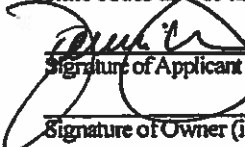
The zoning of the subject property and the abutting properties.	✓	
The location, height and type of fences and walls.	✓	
The location and detailed description of landscaping.	✓	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	✓	
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	✓	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.	✓	96 Bedrooms total 64 units total

**APPLICANT COMMENTS**




**Union Township Site Plan Review Application 2015 Revision**

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

 \_\_\_\_\_ Date 5/30/17  
Signature of Applicant Joseph Mount Pleasant Investment  
Agent, Mount Pleasant  
Properties  
\_\_\_\_\_  
Signature of Owner (if other than applicant) LLC Date \_\_\_\_\_

PLEASE PLACE OUR REVIEW ON THE June 20<sup>th</sup>, 2017 (INSERT DATE)  
PLANNING COMMISSION MEETING. An owners representative WILL WILL NOT attend. You  
will not receive a reminder of the scheduled meeting.

**Union Township Site Plan Review Application 2015 Revision**

<u>Township use</u>	Review Comments
File # _____	_____
Fee Paid initial _____	_____
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	_____

# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Mt. Pleasant Investment Properties LLC  
Name of business owner(s): Joseph Quandt  
Street and mailing address: 2937 Atrium Dr. Suite 200  
Oremos, MI 48864  
Telephone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: jequandt@krlawtc.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:

\_\_\_\_\_  
\_\_\_\_\_

Information compiled by:

Francesca Aragona  
Designhaus Architecture

**Part 1: Management of Hazardous Substances and Polluting Materials**

1. Y  N  Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y  N  ~~Will any hazardous substances or polluting materials be stored on-site?~~  
on-site?
3. Y  N  Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y  N  Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y  N  Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations. For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y  N  Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank
  - b. on-site system
- The on-site system must be approved by the MDEQ.  
Contact: MDEQ Waste Management Division.  
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y  N  Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

# Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
<p><b>KEY:</b></p> <div style="display: flex; justify-content: space-between;"> <ul style="list-style-type: none"> <li>LQ = liquid</li> <li>PLIQU = pressurized liquid</li> <li>S = solids</li> <li>G = gas</li> <li>PG = pressurized gas</li> </ul> <ul style="list-style-type: none"> <li>AGT = above ground tank</li> <li>DM = drums</li> <li>UGT = underground tank</li> <li>CY = cylinders</li> <li>CM = metal cylinders</li> <li>CW = wooden or composition container</li> <li>TP = portable tank</li> </ul> </div>				



# PERMIT INFORMATION

[www.michigan.gov/deqpermits](http://www.michigan.gov/deqpermits)

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehs/guide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM, WEBSITE AND CONTACTS
<b>MISCELLANEOUS CONSTRUCTION</b>			
<b>Air Quality Permit to Install:</b> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Air Quality Division (AQD), <u>Permit Section</u>
<b>Asbestos Notification:</b> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	AQD, <u>Asbestos Program</u>
<b>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</b> Please consult the <u>Land and Water Management Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Water Resources Division (WRD), <u>Joint Permit Application</u>
<b>Soil Erosion and Sedimentation Control:</b> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Soil Erosion and Construction Storm Water</u> , or Contact your <u>Local Agency</u>
<b>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</b> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NPDES <u>Storm Water Permits Program</u> , or appropriate <u>DEQ District Office</u>
<b>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</b> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Public Swimming Pool Program</u> , or appropriate <u>DEQ District Office</u>
<b>Threatened and Endangered Species:</b> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Endangered Species Assessment, <u>Threatened and Endangered Species Program</u> , 517-373-1552
Does the project involve construction or alteration of any sewage collection or treatment facility?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Appropriate <u>District Office</u> , WRD, Part 41 Construction Permit Program
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <u>solid non-hazardous waste</u> on-site, or places <u>industrial residuals/sludge</u> into or onto the ground?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <u>Solid Waste</u> , Appropriate <u>DEQ District Office</u>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <u>hazardous waste</u> ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	OWMRP, <u>Hazardous Waste Section</u> , <u>Treatment, Storage and Disposal</u>
<b>WATER SUPPLY (More information, see: <a href="http://www.michigan.gov/deqwater">http://www.michigan.gov/deqwater</a>, select "drinking water")</b>			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Contact your <u>Local Water Utility</u>
I have a private or other water supply well (Type III)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contact your (District or County) <u>Local Health Department</u>
I have a Non-Community Water Supply (Type II)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Guide</u> , Contact your (District or County) <u>Local Health Department</u>
I am a community water supply (Type I)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Community Water Supply</u> , <u>DEQ District Office Community Water Supply Program</u>

WASTEWATER MANAGEMENT		
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year <i>floodplain</i> of a watercourse?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes <i>high risk erosion area</i> ?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated <i>environmental area</i> ?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated <i>critical dune area</i> ?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a <i>dam, weir</i> or other structure to impound flow?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)		
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS		
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
<b>NPDES:</b> Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Web Site)	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
<b>CHEMICAL ADDITION PROJECTS</b>		
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
<b>PERSONAL LICENSES/CERTIFICATIONS</b>		
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>



Water or Groundwater)?		
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
<b>OIL, GAS AND MINERALS</b>		
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping Unit, Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Protection Programs</u>
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>		
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

**Union Township Site Plan Review Application 2015 Revision**

**UNION TOWNSHIP CONSTRUCTION CONTACTS**

**Building & Zoning Permits  
Sign Permit  
Water and Sewer review  
Site Plan Review**

**Charter Township of Union  
2010 S. Lincoln Rd  
Mt. Pleasant, MI 48858**

**(989) 772 4600 (switchboard)  
(989) 773 1988 (FAX)**

**Building Official  
Randy Robinson - Ext. 227  
[rrobinson@uniontownshipmi.com](mailto:rrobinson@uniontownshipmi.com)**

**Zoning Administrator  
Peter Gallinat - Ext. 241  
[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)**

**Public Works Coordinator  
Kim Smith - Ext. 224  
[ksmith@uniontownshipmi.com](mailto:ksmith@uniontownshipmi.com)**

**Road Permits  
(submit (2) copies of site plan directly to proper authority prior to Site Plan Review)**

**State Highways M 20 and US 127 (portions of E. Pickard Rd, E Remus Rd, and Mission Rd)**

**MDOT  
1212 Corporate Drive  
Mt. Pleasant, MI 48858  
(989) 773-7756 FAX 775 6329**

**All other roads**

**Isabella County Road Commission  
2261 E. Remus Rd  
Mt. Pleasant, MI 48858  
(989) 773 7131 (FAX) 772 2371**

**ICTC  
2100 E Transportation Dr  
Mt. Pleasant, MI 48858  
(989)772-9441**

## Union Township Site Plan Review Application 2015 Revision

### Storm Water Management Plan

Submit (2) copies of Storm Water Management Plan directly to county engineer prior to Site Plan Review  
Code - Union Township Ord. 1992-9 Storm Water Management

### Isabella County Building

Resource Management  
ATTN: Bruce Rohrer PE  
200 N. Main St.  
Mt. Pleasant, MI 48858

(989) 772 0911 Ext. 231 (FAX) 773 7431

### Plumbing, Electrical, Mechanical Permits

Isabella County Building  
Inspections  
ATTN: (SEE FOLLOWING LIST)  
200 N. Main St.  
Mt. Pleasant, MI 48858  
(989) 772 0911 Ext. (SEE FOLLOWING) (FAX) 773 7431

Electrical Inspector  
Tim Wardwell - Ext. 230

Plumbing and Mechanical Inspector  
Doug Elias - Ext. 228

### Fire Department Review

Sgt. Randy Keeler  
804 E. High St.  
Mt. Pleasant, MI 48858  
(989) 779-5122 (FAX) 773 4020  
[rkeeler@mt-pleasant.org](mailto:rkeeler@mt-pleasant.org)

### Addressing

Isabella County Building Official (989) 772 0911, Ext 228

### Miscellaneous

Phone - GTE (800) 483 5600, Verizon (800) 483 4000  
Gas/Electric - Consumer Energy (800) 572 4788, MichCon (800) 477 4747 Central MI Dist. Health Dept. (989) 773 5921  
Miss Dig (800) 482 7171



May 26, 2017

Charter Township of Union  
2010 S. Lincoln Rd.  
Mt. Pleasant, MI 48858

Attn.: Planning Department (Peter Gallinat)

Re: Union Township Senior Living Facility (Remus and Lincoln Roads)  
Parcel I.D.: 14-020-20-001-03  
Zoning: R-3A

Mr. Gallinat,

Designhaus Architecture of Rochester, Michigan and has been retained by Mt. Pleasant Investment Properties, LLC to pursue the approval of a senior living facility. The property is 15.43 acres at the corner of Remus Road (M-20) and Lincoln Road. It is zoned as R-3A, mainly surrounded with the same zoning with a portion of the property touching R-1 zoning.

We are respectfully requesting special use as the proposed main building has 32 units. In addition to the main building, there are (8) independent living cottages proposed. Each independent cottage building has (4) units per building. All buildings are single story, wood framed with fiber cement siding with aluminum clad windows and doors.

Included with this letter is a site plan approval and special use drawing set as well as a rendering package. We look forward to the opportunity to present this to the Planning Commission and will be happy to discuss any comments or concerns.

Sincerely,

Designhaus Architecture

Signed,

A handwritten signature in black ink, appearing to read "Peter Stuhlreyer". The signature is stylized and cursive.

Peter Stuhlreyer, Principal Architect

301 Walnut Blvd | Rochester, MI | 48307 | 248.601.4422 | designhaus.com



R. EDWARD KUHN  
TERRY C. ROGERS  
*(LLM, Taxation)*  
A. BROOKS DARLING  
EDGAR ROY III  
JOSEPH E. QUANDT  
GREGORY J. DONAHUE  
GREGORY L. JENKINS

412 SOUTH UNION STREET  
TRAVERSE CITY, MICHIGAN 49684  
TELEPHONE: 231-947-7900  
FAX: 231-941-5154

LANSING OFFICE:  
2937 ATRIUM DRIVE, SUITE 200  
OKEMOS, MICHIGAN 48864  
TELEPHONE: 517-347-7720

TROY W. STEWART  
GINA A. BOZZER  
MATTHEW L. BOYD  
CHRISTOPHER G. ROGERS  
*(also admitted in Illinois)*  
MARC S. McKELLAR II

OF COUNSEL:  
LEWIS G. GATCH

June 15, 2017

**FACSIMILE COVER SHEET**

Please deliver the following pages to:

Name: Peter Gallinat

Fax No.: 989-773-1988

RE: Mt. Pleasant Investment Properties, LLC

From: Joe Quandt

Total number of pages (including cover sheet):

Our File No.

Message:

**THE INFORMATION CONTAINED IN THIS FACSIMILE TRANSMISSION IS  
ATTORNEY-CLIENT PRIVILEGED AND CONFIDENTIAL**

It is intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution, or copy of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone, collect, and return the original message to us at the above address via the U.S. Postal Service. We will reimburse you for the postage. Thank you.

Transmitted By: Sherri  
Direct Dial: (231) 947-7901 x114



R. EDWARD KUHN  
TERRY C. ROGERS  
*(LLM, Taxation)*  
EDGAR ROY III  
JOSEPH E. QUANDT  
GREGORY J. DONAHUE  
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*(also admitted in Illinois)*  
MARC S. McKELLAR II

OF COUNSEL:  
LEWIS G. GATCH  
A. BROOKS DARLING

June 15, 2017

VIA FAX - 989-773-1988  
VIA EMAIL - [pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)  
AND FIRST CLASS MAIL  
Peter Gallinat  
Zoning Administrator  
Charter Township of Union  
2010 S. Lincoln Road  
Mt. Pleasant, MI 48858

Re: Mt. Pleasant Investment Properties, LLC

Dear Peter:

Pursuant to our discussion earlier today, this letter is to advise you that my client, Mt. Pleasant Investment Properties, LLC, is appropriately authorized to seek site plan approval and special use permit approval as requested in applications previously submitted to Union Township. It is my understanding that you may have been under the mistaken perception that my client did not have appropriate authority. Please be advised that my client has a purchase agreement in place with the current owners of the property which provides my client authorization to pursue township approval for my client's proposed land use. Enclosed is a copy of correspondence from the owner's attorney which more definitively sets forth my client's authority to seek these approvals.

Also, for clarification purposes with respect to the applications submitted, please be advised that Mt. Pleasant Investment Properties, LLC is not the owner of the property, but is authorized to seek site plan approval and special use permit approval from the owner. Accordingly, on the application for special use permit and application for site plan review, please feel free to place the notation on the applications with respect to my client's authorizations as referenced in the attached document. Please provide a copy of this letter in the package to the Planning Commission, so that this clarification and authorization is part of the administrative record of my client's applications.

Please let me know if you have any questions, comments or concerns related to this clarification.

Sincerely,

KUHN ROGERS PLC

Joseph E. Quandt  
Direct Dial: (231) 947-7901 x115  
[jequandt@krlawtc.com](mailto:jequandt@krlawtc.com)

JEQ:shp  
enclosures



GREGORY T. DEMERS

989-698-3708  
FAX 989-486-6108

GDemers@wnj.com

June 15, 2017

Re: **Figg Equities Limited Partnership / Mt. Pleasant Investment Properties, LLC**

To whom it may concern:

Please be advised that I am the representative of the owner of real property owned by Figg Equities Limited Partnership, which is described on the attached Exhibit A (the "Property"). This letter is to advise you that the Property is subject to a purchase agreement whereby Mount Pleasant Investment Properties, LLC is the prospective purchaser of the Property. Under the purchase agreement, Mount Pleasant Investment Properties, LLC has the right to seek zoning or land use approvals so long as those approvals are conditioned upon Mount Pleasant Investment Properties, LLC (or its allowed/designated assignee) actually purchasing the property. Mount Pleasant Investment Properties, LLC has the authority of the owner of the Property to seek these conditional approvals from any and all governmental authorities, including the Union Township Planning Commission and Union Township Board of Trustees for site plan or special use permit approval, subject to the conditions referenced above.

Very truly yours,

Gregory T. Demers

GTD/hmt  
15955759

**EXHIBIT A**

A parcel of real estate approximately forty-six (46) acres; excepting seven (7) acres, consisting of a parcel bounded on the north by the south line of Parcel I.D. #14-020-20-001-02, by Lincoln Road to the east, by McGuirk Road to the south, and on the west at a line determined by survey to equal a seven (7) acre parcel; property to be sold is thirty-nine (39) acres +/- to be confirmed by survey located at South Lincoln Road, Union Township, Isabella County, Michigan (the "Premises"), more particularly described as:

Commencing 1102.88 feet South of the Northeast corner of Section 20, Town 14 North, Range 4 West, thence West 577.48 feet; thence North 15 degrees 57 minutes 11 seconds West, 209.03 feet; thence North 00 degrees 09 minutes 44 seconds West, 208.6 feet; thence North 89 degrees 21 minutes 46 seconds West, 1313.49 feet; thence South 640 feet; thence East 610.12 feet; thence South 660 feet; thence East 1338.88 feet, thence North 897.12 feet to the Point of Beginning.

Excepting:

Town 14 North, Range 4 West, Section 20, Commence 1102.88 feet South of the Northeast corner; thence South 472.16 feet; thence West 633.03 feet; thence North 00 degrees 09 minutes 44 seconds West, 673.14 feet; thence South 15 degrees 57 minutes 11 seconds East, 209.03 feet; thence East 577.48 feet to the Point of Beginning. 7.0 acres, more or less, and subject to an easement over the South 66.00 feet thereof for private roadway purposes.





GREGORY T. DEMERS

989-698-3708  
FAX 989-486-6108

GDemers@wnj.com

June 15, 2017

Re: Greenspace, Inc. / Mt. Pleasant Investment Properties, LLC

To whom it may concern:

Please be advised that I am the representative of the owner of real property owned by Greenspace, Inc., which is described on the attached Exhibit A (the "Property"). This letter is to advise you that the Property is subject to a purchase agreement whereby Mount Pleasant Investment Properties, LLC is the prospective purchaser of the Property. Under the purchase agreement, Mount Pleasant Investment Properties, LLC has the right to seek zoning or land use approvals so long as those approvals are conditioned upon Mount Pleasant Investment Properties, LLC (or its allowed/designated assignee) actually purchasing the property. Mount Pleasant Investment Properties, LLC has the authority of the owner of the Property to seek these conditional approvals from any and all governmental authorities, including the Union Township Planning Commission and Union Township Board of Trustees for site plan or special use permit approval, subject to the conditions referenced above.

Very truly yours,

A handwritten signature in black ink, appearing to read 'G. Demers'.

Gregory T. Demers

GTD/hmt  
15955781

**EXHIBIT A**

A parcel of real estate approximately twenty-six point two (26.2) acres in size located at South Lincoln Road, Union Township, Isabella County, Michigan (the "Premises"), more particularly described as:

B-5

T14N R4W, Section 20; commencing at the Northeast corner of Section 20; South 89°37'58" West along the North section line 242 feet; thence South 1°0'7" East 178 feet; thence South 89°37'58" West 165 feet; thence North 1°0'7" West 178 feet to the North section line; thence South 89°37'58" West 914 feet; thence South 1°0'7" East 182 feet; thence South 89°37'58" West 34 feet; thence South 1°0'7" East 132 feet; thence South 89°37'58" West 594 feet; thence South 1°0'7" East 386 feet; thence North 89°37'58" East 1949 feet to the East section line; thence North 1°0'7" West 700 feet to the Point of Beginning. (26.2 acres.)  
Parcel I.D. # 14-020-20-001-01

**DESCRIPTION PROVIDED: R-3A PARCEL**

**TOWNSHIP OF UNION, COUNTY OF ISABELLA, STATE OF MICHIGAN.  
COMMENCING 1102.88 FEET SOUTH OF THE NORTHEAST CORNER OF  
SECTION 20, T.14 N.-R.4 W., THENCE WEST 577.48 FEET; THENCE N.15°-57'-  
11"W., 209.03 FEET; THENCE N.00°-09'-44"W., 208.60 FEET; THENCE N.89°-21'-  
46"W., 1313.48 FEET; THENCE SOUTH, 640.00 FEET; THENCE EAST, 610.12  
FEET; THENCE SOUTH, 660.00 FEET; THENCE EAST, 1338.88 FEET; THENCE  
NORTH, 897.12 FEET TO THE POINT OF BEGINNING.**

**Mt Pleasant Investment Properties LLC**

May 25, 2017

Charter Township of Union  
2010 S. Lincoln  
Mt. Pleasant, MI 48858

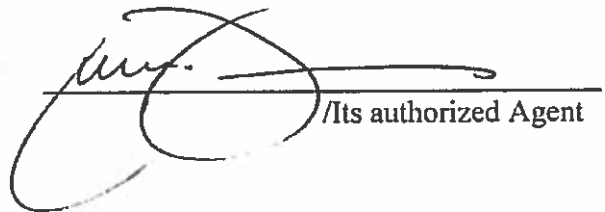
Re: Authorized Agent

To whom it may concern,

Mt. Pleasant Investment Properties, LLC has authority to pursue zoning or land use approvals including but not limited to, site plan reviews or special use permits from the title holders of certain properties pursuant to purchase agreements with those owners. Those properties include: parcel ID 14-020-20-001-03, 14-020-20-002-00, and 14-020-20-001-01. Mt. Pleasant Investment Properties, LLC therefore authorizes CMS&D to act on behalf, as its agent, to seek such land use approvals.

Regards,

Mt. Pleasant Investment Properties, LLC

  
\_\_\_\_\_  
/Its authorized Agent

# Union Township Senior Living Facility

14-020-20-001-03

Remus and Lincoln Roads  
Mt. Pleasant, MI

### STATEMENT OF SELECTED DESIGN PROFESSIONAL

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES ISSUED AND APPROVED CODE MODIFICATIONS AND/OR MUNICIPAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

REGISTERED DESIGN PROFESSIONAL IN CHARGE:  
PETER STUHLREYER, A.I.A.  
MICHIGAN IDENTIFICATION # 44668  
DESIGNHAUS ARCHITECTURE

### PROJECT TEAM

**OWNER**  
MT. PLEASANT INVESTMENT PROPERTIES LLC  
2937 ATRIUM DR., SUITE 200  
OKEMOS, MI 48864  
T: 231.947.7901 EXT.115  
CONTACT: JOSEPH QUANDT

**ARCHITECT**  
DESIGNHAUS ARCHITECTURE  
301 WALNUT BLVD.  
ROCHESTER, MI 48307  
T: 248.601.4422  
F: 248.453.5854  
PROJECT MANAGER: JOE LATOZAS  
PROJECT ARCHITECT:  
PETER STUHLREYER, A.I.A.

### INDEX OF DRAWINGS

- SHEET ISSUED
- REVISED
- SHEET REISSUED

SHEET NO: DRAWING NAME

#### GENERAL

G001 Title Sheet and Index  
G002 Reference & Code Information

#### SURVEY

1 OF 6 Cover Sheet  
2 OF 6 Boundary Easement Sheet  
3 OF 6 ALTA/NSPS Survey Sheet 1  
4 OF 6 ALTA/NSPS Survey Sheet 2  
5 OF 6 ALTA/NSPS Survey Sheet 3  
6 OF 6 ALTA/NSPS Survey Detail Sheet

#### SITE/LANDSCAPE

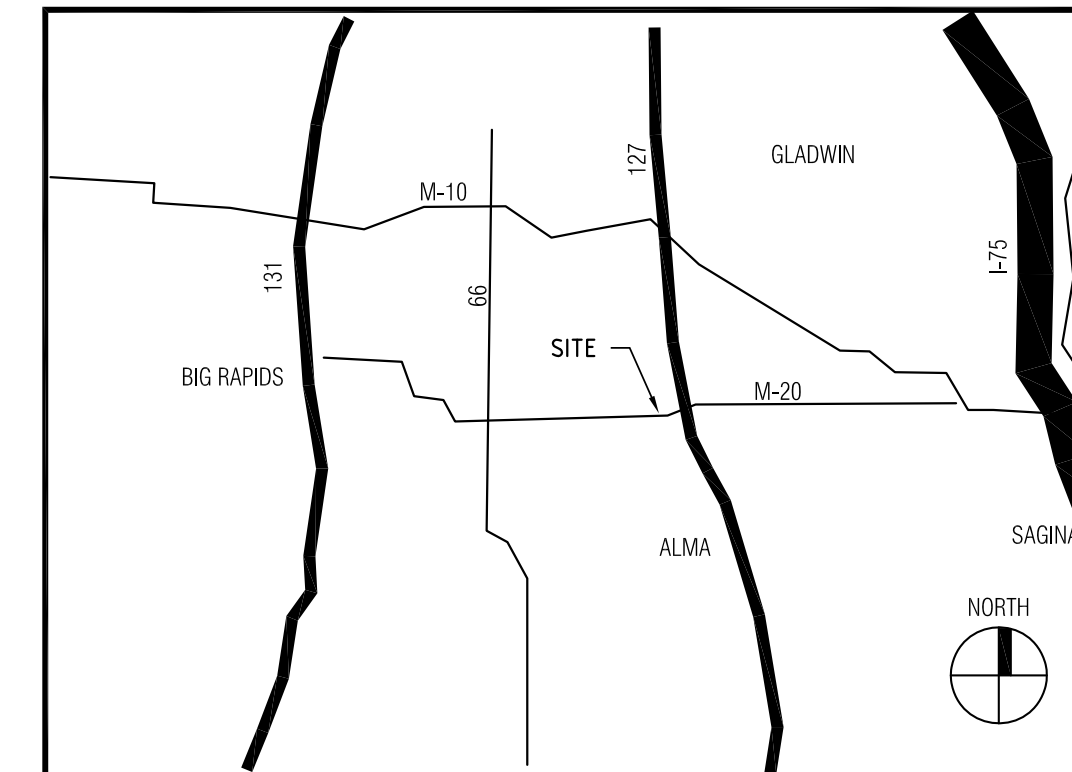
S100 Site Plan  
L100 Landscape Plan  
S101 Composite Site Plan  
S200 Utility and Grading Plan  
S300 Site and Landscape Details

#### ARCHITECTURAL

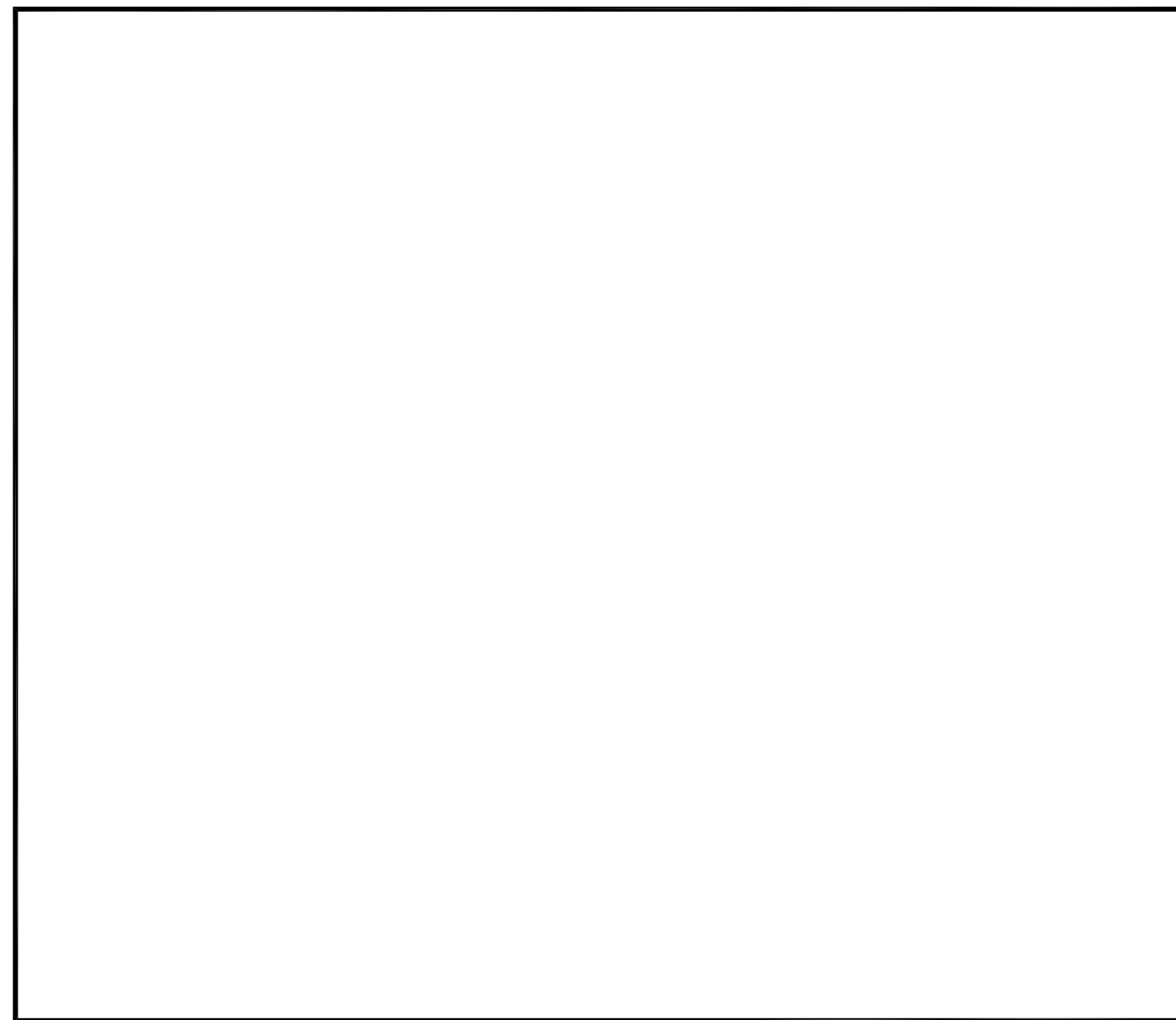
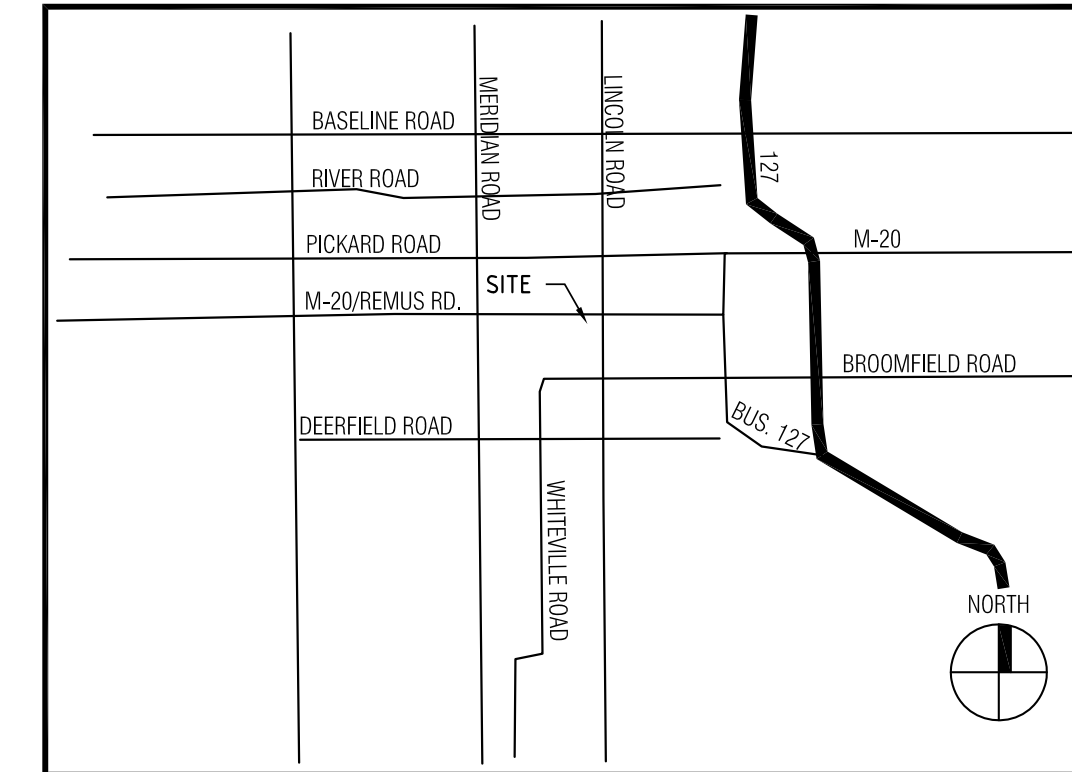
A100 Overall Construction Plan  
A101 Roof Plan  
A200 Elevations  
A201 Elevations  
A300 Building Sections  
A301 Wall Sections  
A400 Not Used  
A500 Details  
A600 Partition Details  
A601 Door Schedule & Details  
A602 Interior Finish Schedule

Special Use & Site Plan Approval: 5.26.17

### VICINITY MAP



### LOCATION MAP



No.	Revision/Issue	Date
	---	---
	---	---
	---	---
	Special Use & Site Plan Approval	5.26.17

**Union Township  
Senior Living Facility**  
14-020-20-001-03  
Mt. Pleasant, MI

Title Sheet and Index

**G001** 017033

# ALTA-NSPS LAND TITLE SURVEY

## 1956 & 1982 E. REMUS ROAD (M-20)

B-5 ZONE	
MINIMUM FRONT YARD SETBACK	50 FT (A,B)
MINIMUM SIDE YARD SETBACK	20 FT (B)
MINIMUM REAR YARD SETBACK	25 FT (A,B)
MINIMUM LOT FRONTAGE	100 FT
MINIMUM LOT AREA (SQ FT)	16,000 SQ FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM LOT COVERAGE (%)	30%

- A. OFF-STREET PARKING SHALL BE PERMITTED TO OCCUPY A PORTION OF THE REQUIRED FRONT YARD, PROVIDED THAT THERE SHALL BE MAINTAINED A MINIMUM UNOBSTRUCTED AND LANDSCAPED SETBACK OF TEN (10) FEET BETWEEN THE NEAREST POINT OF THE OFF-STREET PARKING AREAS, EXCLUSIVE OF ACCESS DRIVEWAYS AND THE NEAREST RIGHT-OF-WAY LINE AS INDICATED ON THE MAJOR THROUGHFARE PLAN.
- B. A LOT IN THE B-5 DISTRICT WILL PROVIDE A SIDE AND REAR YARD OF AT LEAST FORTY (40) FEET WHEN ABUTTING A RESIDENTIAL DISTRICT.

R-3A ZONE	
MINIMUM FRONT YARD SETBACK	35 FT
MINIMUM SIDE YARD SETBACK	30 FT
MINIMUM REAR YARD SETBACK	25 FT
MAXIMUM BUILDING HEIGHT	35 FT (F)
MINIMUM LOT AREA (TWO FAM.)	(G)
MINIMUM LOT AREA (SING. FAM.)	(G)
MINIMUM FLOOR AREA (SING. FAM.)	500 SQ. FT.

- B. MINIMUM FLOOR AREA EXCLUDES PORCHES, GARAGES, BASEMENTS, OR UTILITY AREAS. FOR EACH ADDITIONAL BEDROOM ADD ONE HUNDRED (100) SQUARE FEET.
- F. NO BUILDING OR STRUCTURE SHALL EXCEED A HEIGHT OF THIRTY-FIVE (35) FEET, EXCEPT APARTMENTS MAY BE INCREASED NOT TO EXCEED A MAXIMUM HEIGHT OF SEVENTY (70) FEET, PROVIDED THAT ANY REQUIRED YARD SHALL BE INCREASED BY ONE (1) FOOT FOR EACH IN HEIGHT THE STRUCTURE EXCEEDS THIRTY-FIVE (35) FEET.
- G. MULTI-FAMILY

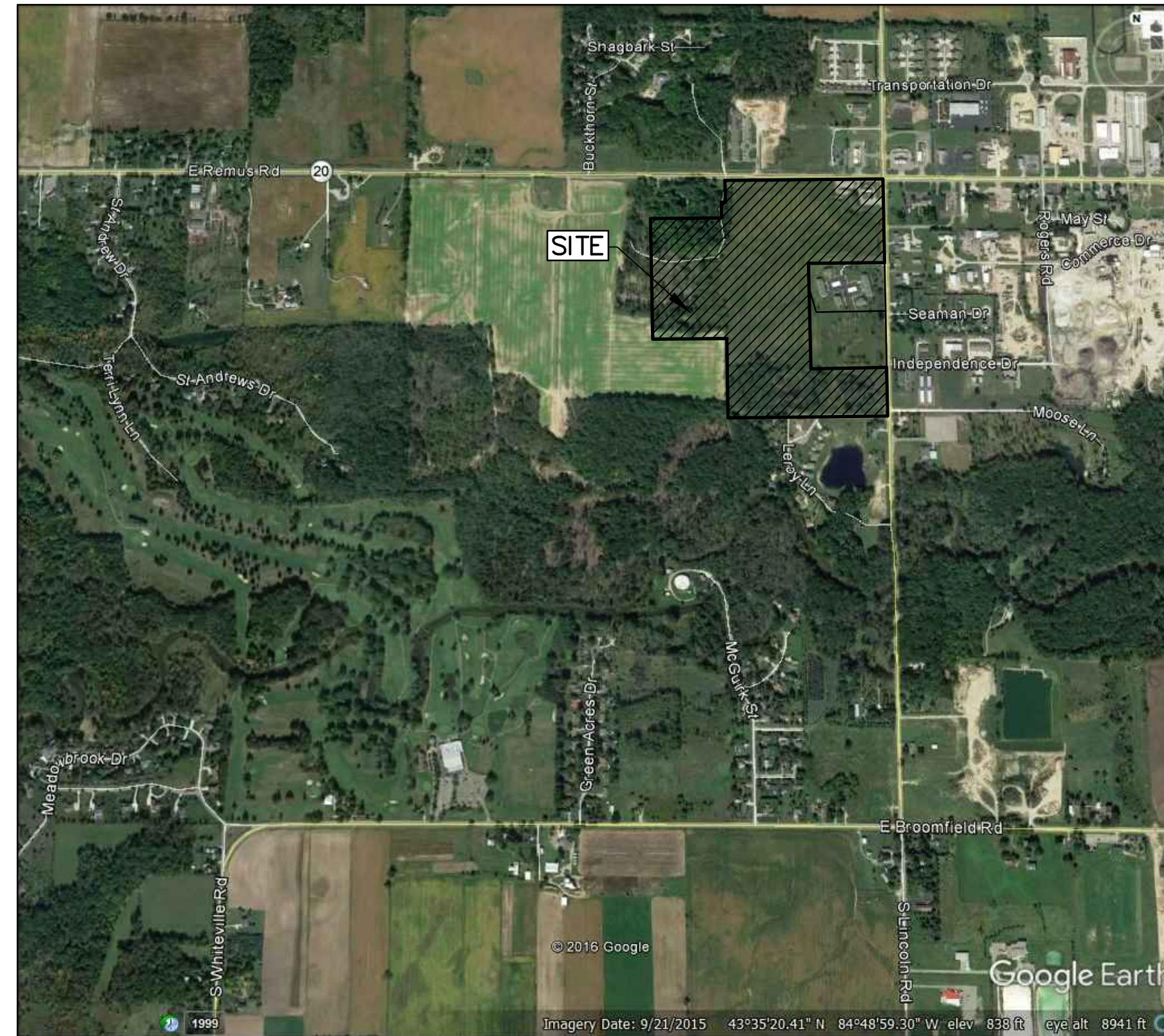
REQUIRED GROUND PER UNIT, NO. UNITS	R-3A
MINIMUM FRONT YARD SETBACK	4,000 SQ FT
MINIMUM SIDE YARD SETBACK	3,600 SQ FT
MINIMUM REAR YARD SETBACK	3,200 SQ FT
MAXIMUM BUILDING HEIGHT	2,900 SQ FT

**MISS DIG:**  
FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

**UTILITY NOTE:**  
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

**FLOOD\_ZONE CERTIFICATION:**

A PORTION OF SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF A BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 26073C03050D WITH AN EFFECTIVE DATE OF FEBRUARY 5, 2014 FOR ISABELLA COUNTY, MICHIGAN COMMUNITY NO. 260812 IN UNION CHARTER TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.



PART OF THE NORTHEAST 1/4, SECTION 20, T14N-R4W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN  
**LOCATION MAP**  
NOT TO SCALE

To: MT. PLEASANT INVESTMENT PROPERTIES, LLC  
GREENSPACE, INC. A MICHIGAN CORPORATION  
FIGG EQUITIES LIMITED PARTNERSHIP, A MICHIGAN LIMITED PARTNERSHIP  
HOMELAND TITLE SERVICES, LLC, WFG NATIONAL TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 6(a)(b), 7(a), 8, 9, 11, 13, 14, 16-18, AND 19 of Table A thereof.

The fieldwork was completed on \_\_\_\_\_  
Date of Plot or Map: \_\_\_\_\_  
Timothy E Bebee, P.S. #39074

**DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 17-11500)**  
TOWNSHIP OF UNION, COUNTY OF ISABELLA, STATE OF MICHIGAN.  
PART OF THE NORTH 700.00 FEET OF THE EAST 1949.00 FEET OF SECTION 20, T.14 N.-R.4 W., DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-37'-58"W., ALONG THE NORTH SECTION LINE, 242.00 FEET; THENCE S.01°-00'-07"E., PARALLEL TO THE EAST SECTION LINE, 178.00 FEET; THENCE S.89°-37'-58"W., 165.00 FEET; THENCE S.89°-37'-58"W., 178.00 FEET TO THE NORTH SECTION LINE; THENCE S.89°-37'-58"W., ALONG SAID NORTH SECTION LINE, 914.00 FEET; THENCE S.01°-00'-07"E., 182.00 FEET; THENCE S.89°-37'-58"W., 34.00 FEET; THENCE S.01°-00'-07"E., 132.00 FEET; THENCE S.89°-37'-58"W., 594.00 FEET; THENCE S.01°-00'-07"E., 386.00 FEET; THENCE N.89°-37'-58"E., 1949.00 FEET TO THE EAST SECTION LINE; THENCE N.01°-00'-07"W., ALONG SAID EAST SECTION LINE, 700.00 FEET BACK TO THE PLACE OF BEGINNING.

**DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 17-11499)**  
TOWNSHIP OF UNION, COUNTY OF ISABELLA, STATE OF MICHIGAN.  
COMMENCING 1102.88 FEET SOUTH OF THE NORTHEAST CORNER OF SECTION 20, T.14 N.-R.4 W., THENCE WEST 577.48 FEET; THENCE N.15°-57'-11"W., 209.03 FEET; THENCE N.00°-09'-44"W., 208.60 FEET; THENCE N.89°-21'-46"W., 1313.48 FEET; THENCE SOUTH, 640.00 FEET; THENCE EAST, 610.12 FEET; THENCE SOUTH, 660.00 FEET; THENCE EAST, 1338.88 FEET; THENCE NORTH, 897.12 FEET TO THE POINT OF BEGINNING.

**DESCRIPTION PROVIDED: (TITLE COMMITMENT NO. 434271)**  
THE WEST 165.00 FEET OF THE EAST 407 FEET OF THE NORTH 178 FEET OF THE NORTHEAST 1/4 OF SECTION 20, T.14 N.-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.  
**AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:**  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N.-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.89°-37'-58"W., ON AND ALONG THE NORTH LINE OF SAID SECTION, 242.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.01°-00'-07"E., PARALLEL WITH THE EAST LINE OF SAID SECTION, 178.00 FEET; THENCE S.89°-37'-58"W., PARALLEL WITH SAID NORTH SECTION LINE, 165.00 FEET; THENCE N.01°-00'-07"W., PARALLEL WITH SAID EAST SECTION LINE, 165.00 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 0.674 ACRES OF LAND.

- SCHEDULE B - SECTION 2 EXCEPTIONS TITLE COMMITMENT 17-11499(a) & 17-11500(b) & 434271(c):**
- 13(a) EASEMENT AS SET FORTH IN LIBER 1298, PAGE 924, ISABELLA COUNTY RECORDS. **AS SHOWN ON SURVEY.**
  - 13(b) PERMANENT EASEMENT AS SET FORTH IN LIBER 1489, PAGE 341, ISABELLA COUNTY RECORDS **AS SHOWN ON SURVEY.**
  - 13(c) RIGHT OF WAY FOR CONSUMERS POWER COMPANY OVER PART OF CAPTION ED LAND DATED MAY 2, 1949 AND RECORDED DECEMBER 21, 1949 IN LIBER 238, PAGE 639. **AS SHOWN ON SURVEY.**
  - 14(a) PERMANENT EASEMENT AS SET FORTH IN LIBER 1489, PAGE 314, ISABELLA COUNTY RECORDS. **AS SHOWN ON SURVEY.**
  - 14(b) EASEMENT FOR TIGHT-OF-WAY AS SET FORTH IN LIBER 1012, PAGE 441, ISABELLA COUNTY RECORDS. **AS SHOWN ON SURVEY.**
  - 14(c) EASEMENT GRANTED TO THE STAATE OF MICHIGAN OVER PART OF CAPTIONED LAND DATED AUGUST 9, 1944 AND RECORDED AUGUST 29, 1944 IN LIBER 265, PAGE 372. **AS SHOWN ON SURVEY.**
  - 15(a) RECIPROCAL USE AGREEMENT A SET FORTH IN LIBER 912, PAGE 870 ISABELLA COUNTY RECORDS. **NOT SHOWN ON SURVEY, DOES NOT AFFECT THE SUBJECT PROPERTY.**
  - 15(b) EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWERS AS SET FORTH IN LIBER 722, PAGE 367, ISABELLA COUNTY RECORDS. **AS SHOWN ON SURVEY.**
  - 16(a) EASEMENT AS SET FORTH IN LIBER 912, PAGE 865, ISABELLA COUNTY RECORDS. **AS SHOWN ON SURVEY.**
  - 16(b) EASEMENT AND RIGHT OF WAY IN FAVOR OF CONSUMERS ENERGY, AS SET FORTH IN LIBER 870, PAGE 953, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 862, PAGE 264. **RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 516, PAGE 147, AS SHOWN ON SURVEY. IN LIBER 238, PAGE 639, AS SHOWN ON SURVEY, AND IN LIBER 185, PAGE 396, EASEMENT RELEASED IN DOCUMENTS RECORDED IN LIBER 870, PAGE 953 AND LIBER 862, PAGE 264, NOT SHOWN ON SURVEY.**
  - 17(a) CONSERVATION EASEMENT AS SET FORTH IN LIBER 911, PAGE 558, ISABELLA COUNTY RECORDS. **AS SHOWN ON SURVEY.**
  - 17(b) HIGHWAY EASEMENT RELEASE GRANTED TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES, AS SET FORTH IN LIBER 265, PAGE 372. **AS SHOWN ON SURVEY.**
  - 18(a) EASEMENT FOR INGRESS AND EGRESS AS SET FORTH IN LIBER 909, PAGE 332, ISABELLA COUNTY RECORDS. **NOT SHOWN ON SURVEY, DOES NOT AFFECT SUBJECT PROPERTY**
  - 19(A) EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWERS AS SET FORTH IN LIBER 722, PAGE 367, ISABELLA COUNTY RECORDS. **AS SHOWN ON SURVEY.**
  - 20(c) EASEMENT AND RIGHT OF WAY IN FAVOR OF CONSUMERS ENERGY, AS SET FORTH IN LIBER 870, PAGE 953, RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 862, PAGE 264. **RELEASE OF EASEMENT NOT SHOWN ON SURVEY. IN LIBER 516, PAGE 147, AS SHOWN ON SURVEY. IN LIBER 238, PAGE 639, AS SHOWN ON SURVEY, AND IN LIBER 185, PAGE 396, EASEMENT RELEASED IN DOCUMENTS RECORDED IN LIBER 870, PAGE 953 AND LIBER 862, PAGE 264, NOT SHOWN ON SURVEY.**
  - 21(c) HIGHWAY EASEMENT RELEASE GRANTED TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES, AS SET FORTH IN LIBER 265, PAGE 372. **AS SHOWN ON SURVEY.**

SHEET INDEX	
1	COVER SHEET
2	BOUNDARY - EASEMENT SHEET
3	ALTA/NSPS LAND TITLE SURVEY SHEET (1)
4	ALTA/NSPS LAND TITLE SURVEY SHEET (2)
5	ALTA/NSPS LAND TITLE SURVEY SHEET (3)
6	ALTA/NSPS SURVEY DETAIL SHEET

**BENCHMARKS:**  
**BENCHMARK #1:** FOUND AN ALUMINUM MICHIGAN DEPARTMENT OF TRANSPORTATION HEIGHT MODERNIZATION MARK DISK SET IN THE TOP OF A 12 INCH DIAMETER CONCRETE POST. LOCATION IS AT THE SOUTH EAST CORNER OF THE LINCOLN ROAD AND REMUS ROAD (M-20) INTERSECTION. ELEVATION 786.62

**BEARING BASIS:**  
PER GEODETIC OBSERVATION WGS-84 THE BEARING BETWEEN THE NORTHEAST CORNER AND THE NORTH 1/4 CORNER OF SECTION 20, T14N-R4W WAS DETERMINED TO BE S89°-42'-08"W.

**SITE:** SOUTHWEST CORNER OF THE INTERSECTION OF REMUS ROAD (M-20) AND LINCOLN ROAD. MT. PLEASANT, MI 48858

**CLIENT:** MT. PLEASANT INVESTMENT PROPERTIES, LLC  
2937 ATRIUM DRIVE, SUITE 200  
OKEMOS, MI 48864  
CONTACT: JOSEPH QUANDT  
PHONE: (231) 947-7901 EXT. 115

**CONSULTANT:** CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.  
304 EAST HIGH STREET  
MT. PLEASANT, MI 48858  
CONTACT PERSON: TIMOTHY E BEBEE  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

**CHARTER COMMUNICATIONS**  
915 E. BROOMFIELD ROAD  
MT. PLEASANT, MI 48858  
(989) 621-4932  
RANDY BUNKER  
rbunker@chartercom.com

**CONSUMERS ENERGY**  
1325 WRIGHT AVENUE  
ALMA, MI 48801  
(989) 466-4282  
KIM STUDD  
kimberly.studd@cmsenergy.com

**FRONTIER**  
345 PINE STREET  
ALMA, MI 48801  
(989) 463-0392  
MARK A. MARSHALL  
Mark.Marshall@fr.com

**DTE ENERGY**  
4420 44TH ST., S.E., SUITE B  
KENTWOOD, MI 49512  
(616) 954-4623  
MARY JO MCKERSE  
mckersem@dteenergy.com

**CHARTER TOWNSHIP OF UNION**  
PUBLIC WATER/PUBLIC SEWER  
2010 N. LINCOLN ROAD  
MT. PLEASANT, MI 48858  
(989) 772-4600 EXT 24  
KIM SMITH  
ksmith@uniontownshipmi.com

**CHARTER TOWNSHIP OF UNION**  
PLANNING & ZONING  
2010 NORTH LINCOLN ROAD  
MT. PLEASANT, MI 48858  
(989) 772-4600 EXT 241  
PETER GALLINAT  
pgallinat@uniontownshipmi.com

**DRAIN COMMISSIONERS OFFICE**  
ISABELLA COUNTY BUILDING  
200 NORTH MAIN STREET ROOM 140  
MT. PLEASANT, MI 48857  
(989) 772-0911  
RICK JAKUBIEC  
drain@isabellacounty.org

**ISABELLA COUNTY ROAD COMMISSION**  
1325 EAST REMUS ROAD  
MT. PLEASANT, MI 48858  
(989) 773-7131 EXT 115  
PATRICK GAFFNEY  
Pgaaffney@isabellaroads.com

**MT. PLEASANT FIRE DEPARTMENT**  
304 EAST HIGH STREET  
MT. PLEASANT, MI 48858  
(989) 779-5100 EXT 5122  
SGT. RANDY KEELER  
rkeeler@mt-pleasant.org

LEGEND SYMBOLS			
○ BOLLARD	⊠ GAS RISER	⊕ SOIL BORING	⊕ STORM SEWER MANHOLE
⊠ CATCH BASIN (CURB INLET)	⊠ GUY ANCHOR	⊕ TELEPHONE RISER	⊕ TREE - CONIFEROUS
⊠ CATCH BASIN (ROUND)	⊠ HYDRANT - EXISTING	⊕ TREE - DECIDUOUS	⊕ UTILITY POLE
⊠ CATCH BASIN (SQUARE)	⊠ HYDRANT - PROPOSED	⊕ WATER MAIN VALVE	⊕ WATER SHUT-OFF
○ CLEAN OUT	⊠ LIGHT POLE	⊕ WATER WELL	⊕ WOOD STAKE
⊠ DRAINAGE FLOW	⊠ MAILBOX	⊕ MONITORING WELL	
⊠ ELECTRICAL BOX	⊠ MONITORING WELL	⊕ SANITARY SEWER MANHOLE	
⊕ FOUND CONC. MONUMENT	⊕ SANITARY SEWER MANHOLE	⊕ SET IRON	
○ FOUND IRON	⊕ SET IRON	⊕ SIGN	
⊕ GAS MAIN VALVE	⊕ SIGN		

LINETYPES		HATCH PATTERNS	
—ELEC—	BURIED ELECTRICAL CABLE	[Pattern]	ASPHALT - EXISTING
—PHONE—	BURIED TELEPHONE CABLE	[Pattern]	ASPHALT - PROPOSED
—DITCH—	CENTERLINE OF DITCH	[Pattern]	CONCRETE
—FM—	FORCE MAIN	[Pattern]	GRAVEL
—GAS—	GAS MAIN	[Pattern]	LANDSCAPING
—RD-CL—	ROAD CENTERLINE	[Pattern]	RIP-RAP
—8" SAN—	SANITARY SEWER		
—12" SS—	STORM SEWER		
—EX-TOS—	TOE OF SLOPE		
—EX-TOB—	TOP OF BANK		
—OHE—	UTILITIES - OVERHEAD		
—UTL—	UTILITIES - UNDERGROUND		
—12" WM—	WATER MAIN		

**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

**COVER SHEET**  
MT. PLEASANT INVESTMENT PROPERTIES, LLC  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS: TO ADD AND THEN REVISE WETLANDS

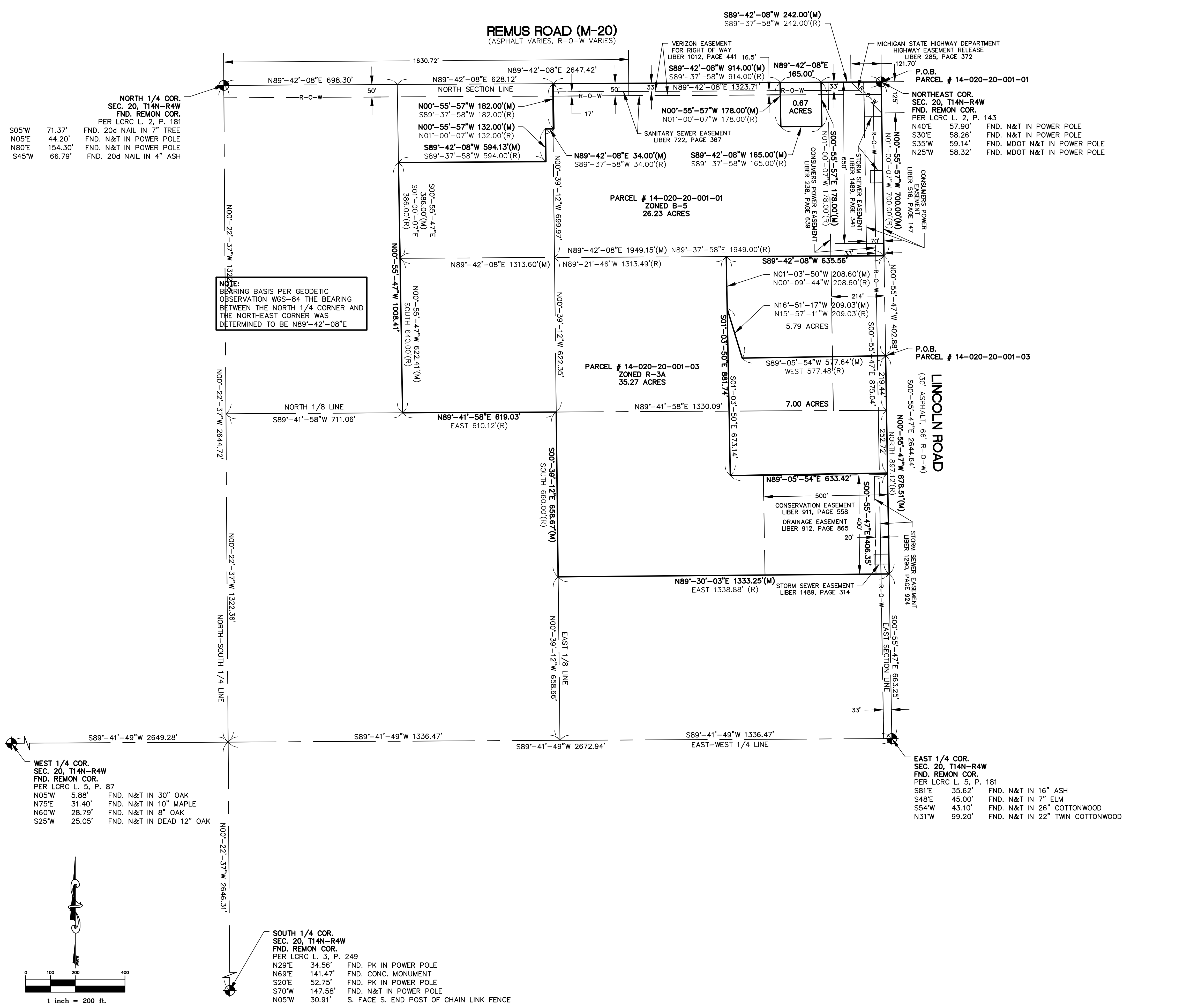
SUBMITTALS:  
SUBMITTAL TO CLIENT 5-12-17  
SUBMITTAL TO CLIENT, REVIEW/COMMENT 5-23-17

JOB NUMBER: 1704-055  
DRAWN BY: WRE  
DESIGNED BY: NA  
CHECKED BY: TELB

SCALE: N/A  
SHEET NUMBER: 1 OF 6



EXISTING STRUCTURE TABLE	
EX-STM #1	RIM = 786.71 FLOWLINE N-S 767.26 60" RCP INV. E. 781.90 12" RCP INV. N. 781.93 30" RCP
EX-STM #2	RIM = 777.59 FLOWLINE N-S 767.59 60" RCP INV. E. 771.89 12" RCP INV. W. 771.89 12" RCP
EX-CB #1	RIM 789.42 INV. E. 785.23 18" RCP INV. W. 785.15 18" RCP INV. NW. 786.25 6" N-12
EX-CB #2	RIM 787.26 INV. N. 781.26 24" RCP INV. S. 780.51 30" RCP INV. W. 781.91 18" RCP
EX-CB #3	RIM 785.41 FLOWLINE N-S 768.91 60" RCP INV. E. 779.76 12" RCP INV. N. 778.71 30" RCP
EX-CB #4	RIM 786.78 INV. ESE. 781.28 24" RCP INV. W. 781.08 12" RCP
EX-CB #5	RIM 786.82 INV. SE. 781.33 24" RCP INV. WNW. 781.27 24" RCP
EX-CB #6	RIM 782.35 INV. E. 775.50 12" RCP
EX-CB #7	RIM 782.51 INV. W. 779.11 12" RCP
EX-CB #8	RIM 774.73 INV. E. 768.28 18" RCP INV. W. 768± 15" RCP



**NOTE:**  
 BEARING BASIS PER GEODETIC  
 OBSERVATION WGS-84 THE BEARING  
 BETWEEN THE NORTH 1/4 CORNER AND  
 THE NORTHEAST CORNER WAS  
 DETERMINED TO BE N89°-42'-08"E

**NORTH 1/4 COR.**  
 SEC. 20, T14N-R4W  
 FND. REMON COR.  
 PER LCRC L. 2, P. 181

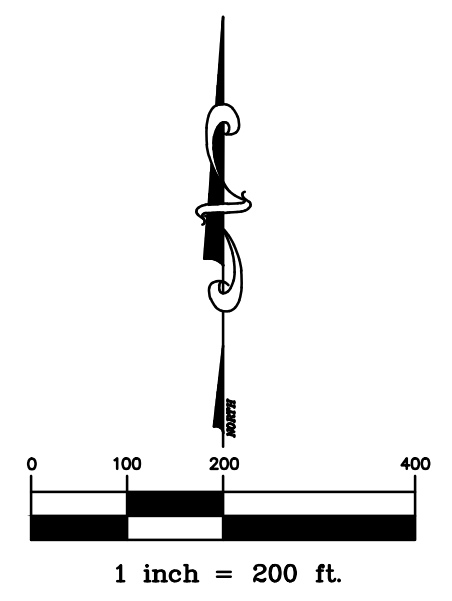
S05'W	71.37'	FND. 20d NAIL IN 7" TREE
N05'E	44.20'	FND. N&T IN POWER POLE
N80'E	154.30'	FND. N&T IN POWER POLE
S45'W	66.79'	FND. 20d NAIL IN 4" ASH

**WEST 1/4 COR.**  
 SEC. 20, T14N-R4W  
 FND. REMON COR.  
 PER LCRC L. 5, P. 87

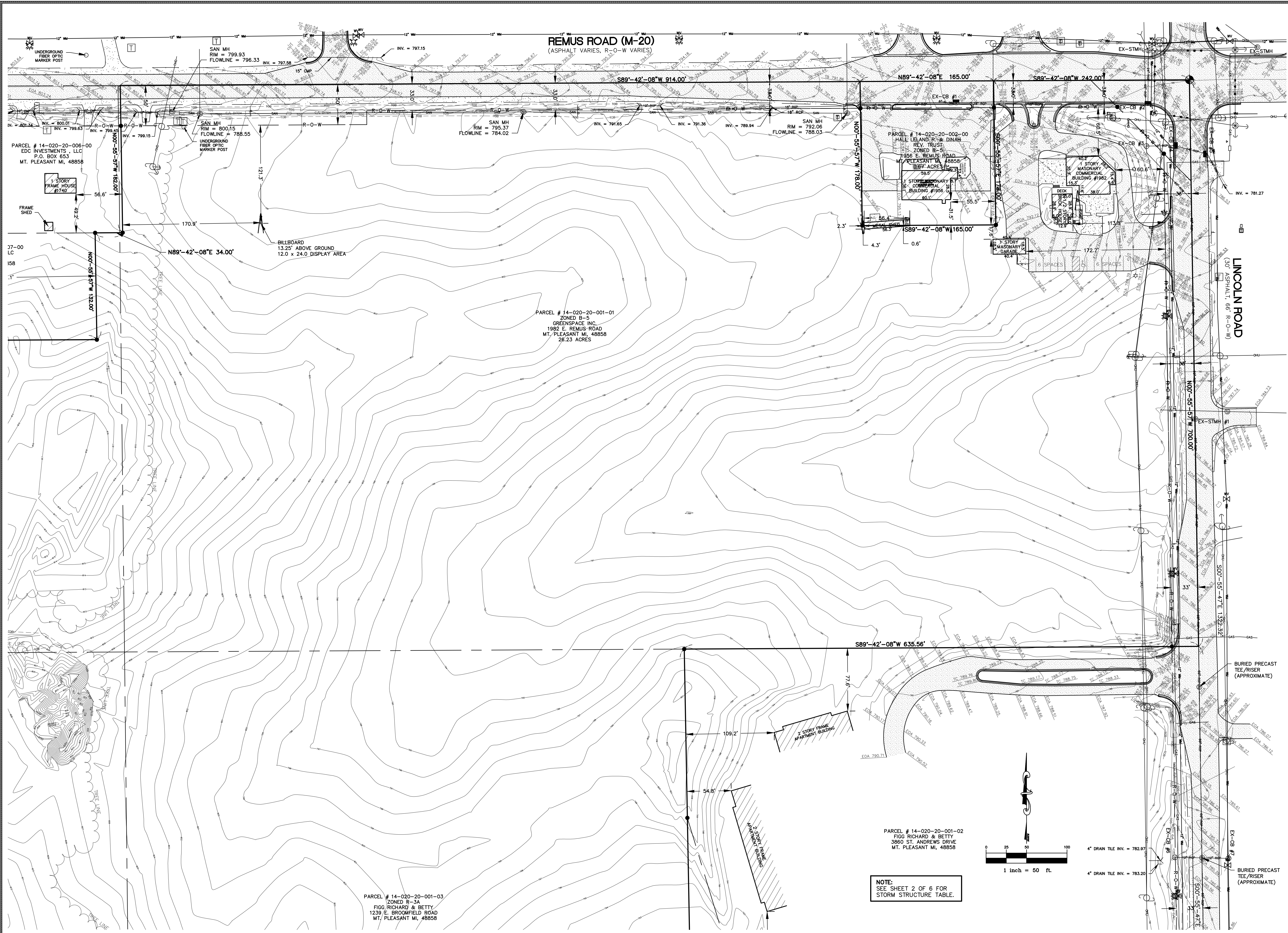
N05'W	5.88'	FND. N&T IN 30" OAK
N75'E	31.40'	FND. N&T IN 10" MAPLE
N60'W	28.79'	FND. N&T IN 8" OAK
S25'W	25.05'	FND. N&T IN DEAD 12" OAK

**SOUTH 1/4 COR.**  
 SEC. 20, T14N-R4W  
 FND. REMON COR.  
 PER LCRC L. 3, P. 249

N29'E	34.58'	FND. PK IN POWER POLE
N69'E	141.47'	FND. CONC. MONUMENT
S20'E	52.75'	FND. PK IN POWER POLE
S70'W	147.58'	FND. N&T IN POWER POLE
N05'W	30.91'	S. FACE S. END POST OF CHAIN LINK FENCE



SCALE	1" = 200'
	SHEET NUMBER 2 OF 6
JOB NUMBER:	1704-055
DRAWN BY:	WRE
DESIGNED BY:	NA
CHECKED BY:	TELB
REVISIONS:	REVISIONS TO ADD AND THEN REVISE WETLANDS
SUBMITTALS:	SUBMITTAL TO CLIENT 5-12-17 SUBMITTAL TO CLIENT, REVIEW/COMMENT 5-23-17



**CMS & D**  
 SURVEYING / ENGINEERING  
 510 W. PICKARD STREET - SUITE C  
 MT. PLEASANT, MICHIGAN 48858  
 PHONE: (989) 775-0756  
 FAX: (989) 775-5012  
 EMAIL: info@cms-d.com



**ALTA/NSPS SURVEY SHEET 1**  
**MT. PLEASANT INVESTMENT PROPERTIES, LLC**  
 PART OF THE NORTHEAST 1/4 R4W  
 SECTION 20, T14N-R4W  
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

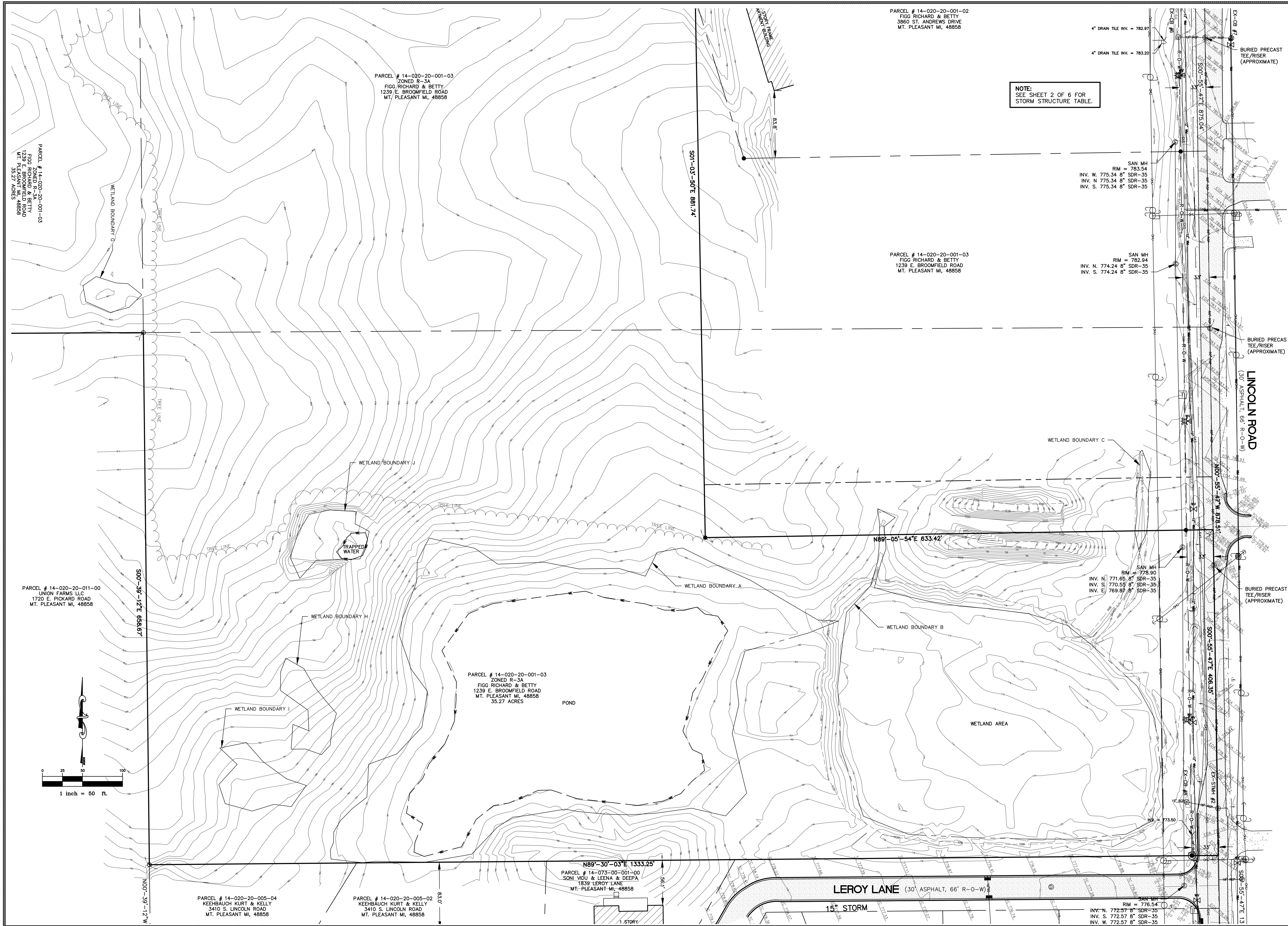
REVISIONS:  
 REVISIONS TO ADD AND THEN REVISE WETLANDS

SUBMITTALS:  
 SUBMITTAL TO CLIENT 5-12-17  
 SUBMITTAL TO CLIENT, REVIEW/COMMENT 5-23-17

SCALE  
**1" = 50'**  
 SHEET NUMBER  
**3 of 6**

JOB NUMBER:  
**1704-055**  
 DRAWN BY:  
**WRE**  
 DESIGNED BY:  
**NA**  
 CHECKED BY:  
**TELB**





NOTE:  
SEE SHEET 2 OF 6 FOR  
STORM STRUCTURE TABLE.

PARCEL # 14-020-20-001-02  
FIGG RICHARD & BETTY  
3860 ST. ANDREWS DRIVE  
MT. PLEASANT MI, 48858

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858

PARCEL # 14-020-20-001-03  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858

PARCEL # 14-020-20-011-00  
UNION FARMS LLC  
1720 E. PICKARD ROAD  
MT. PLEASANT MI, 48858

PARCEL # 14-020-20-001-03  
ZONED R-3A  
FIGG RICHARD & BETTY  
1239 E. BROOMFIELD ROAD  
MT. PLEASANT MI, 48858  
35.27 ACRES

PARCEL # 14-020-20-005-04  
KEEBBAUCH KURT & KELLY  
3410 S. LINCOLN ROAD  
MT. PLEASANT MI, 48858

PARCEL # 14-020-20-005-02  
KEEBBAUCH KURT & KELLY  
3410 S. LINCOLN ROAD  
MT. PLEASANT MI, 48858

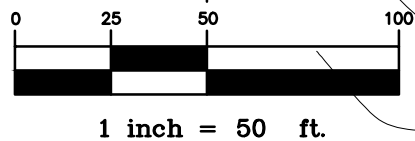
PARCEL # 14-073-00-001-00  
SONI VIDU & LEENA & DEEPA  
1839 LEROY LANE  
MT. PLEASANT MI, 48858

SAN MH  
RIM = 783.54  
INV. W. 775.34 8" SDR-35  
INV. N. 775.34 8" SDR-35  
INV. S. 775.34 8" SDR-35

SAN MH  
RIM = 782.94  
INV. N. 774.24 8" SDR-35  
INV. S. 774.24 8" SDR-35

SAN MH  
RIM = 778.90  
INV. N. 771.65 8" SDR-35  
INV. S. 770.58 8" SDR-35  
INV. E. 769.87 8" SDR-35

SAN MH  
RIM = 776.54  
INV. N. 772.57 8" SDR-35  
INV. S. 772.57 8" SDR-35  
INV. W. 772.57 8" SDR-35



**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

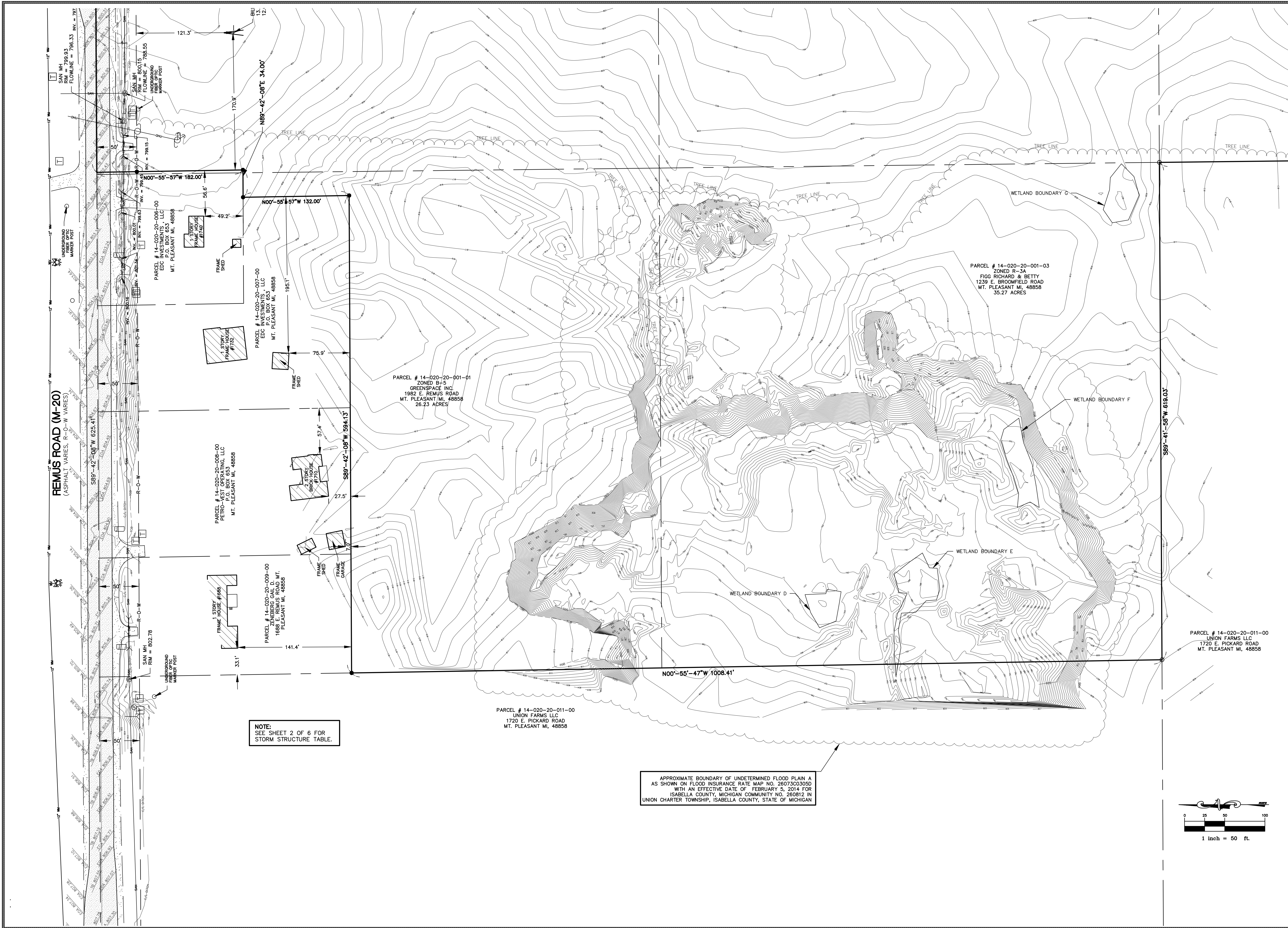


**ALTA/NSPS SURVEY SHEET 2**  
**MT. PLEASANT INVESTMENT PROPERTIES, LLC**  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R14W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS TO ADD AND THEN REVISE WETLANDS

SUBMITTALS:  
SUBMITTAL TO CLIENT 5-12-17  
SUBMITTAL TO CLIENT, REVIEW/COMMENT 5-23-17

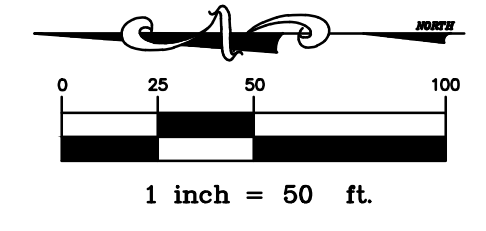
JOB NUMBER:	1704-055
DRAWN BY:	WRE
DESIGNED BY:	NA
CHECKED BY:	TELB
SCALE:	1" = 50'
SHEET NUMBER:	4 OF 6



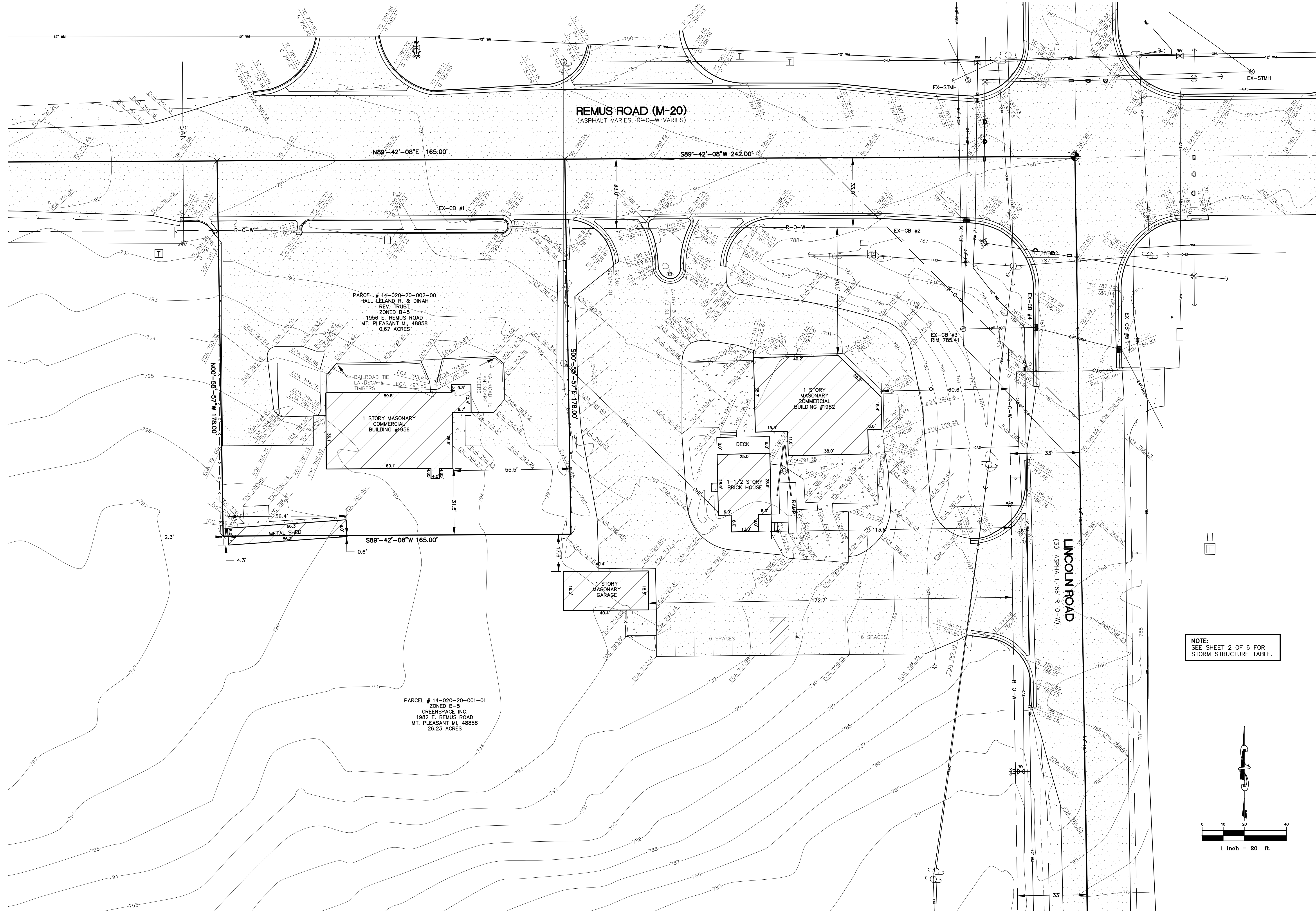
**REMUS ROAD (M-20)**  
(ASPHALT VARIES, R-O-W VARIES)

**NOTE:**  
SEE SHEET 2 OF 6 FOR  
STORM STRUCTURE TABLE.

APPROXIMATE BOUNDARY OF UNDETERMINED FLOOD PLAIN A  
AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 26073003050  
WITH AN EFFECTIVE DATE OF FEBRUARY 5, 2014 FOR  
ISABELLA COUNTY, MICHIGAN COMMUNITY NO. 260812 IN  
UNION CHARTER TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN



SCALE 1" = 50'	JOB NUMBER: 1704-055	REVISIONS: REVISIONS TO ADD AND THEN REVISE WETLANDS	<b>CMS &amp; D</b> SURVEYING / ENGINEERING 510 W. PICKARD STREET - SUITE C MT. PLEASANT, MICHIGAN 48858 PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com
	DRAWN BY: WRE	<b>ALTA/NSPS SURVEY SHEET 3</b> <b>MT. PLEASANT INVESTMENT PROPERTIES, LLC</b> PART OF THE NORTHEAST 1/4 SECTION 20, T14N-R4W UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN	
SHEET NUMBER 5 OF 6	DESIGNED BY: NA	SUBMITTALS: SUBMITTAL TO CLIENT 5-12-17 SUBMITTAL TO CLIENT, REVIEW/COMMENT 5-23-17	
CHECKED BY: TELB			



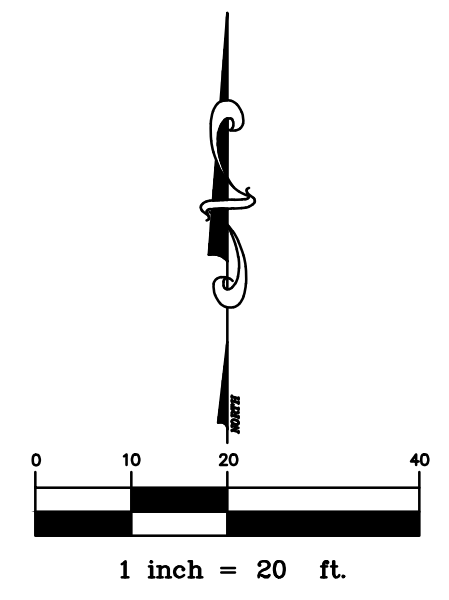
**REMUS ROAD (M-20)**  
(ASPHALT VARIES, R-O-W VARIES)

**LINCOLN ROAD**  
(30' ASPHALT, 66' R-O-W)

PARCEL # 14-020-20-002-00  
HALL LELAND R. & DINAH  
REV. TRUST  
ZONED B-5  
1956 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
0.67 ACRES

PARCEL # 14-020-20-001-01  
ZONED B-5  
GREENSPACE INC.  
1982 E. REMUS ROAD  
MT. PLEASANT MI, 48858  
26.23 ACRES

NOTE:  
SEE SHEET 2 OF 6 FOR  
STORM STRUCTURE TABLE.



**CMS & D**  
SURVEYING / ENGINEERING  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MICHIGAN 48858  
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FAX: (989) 775-5012  
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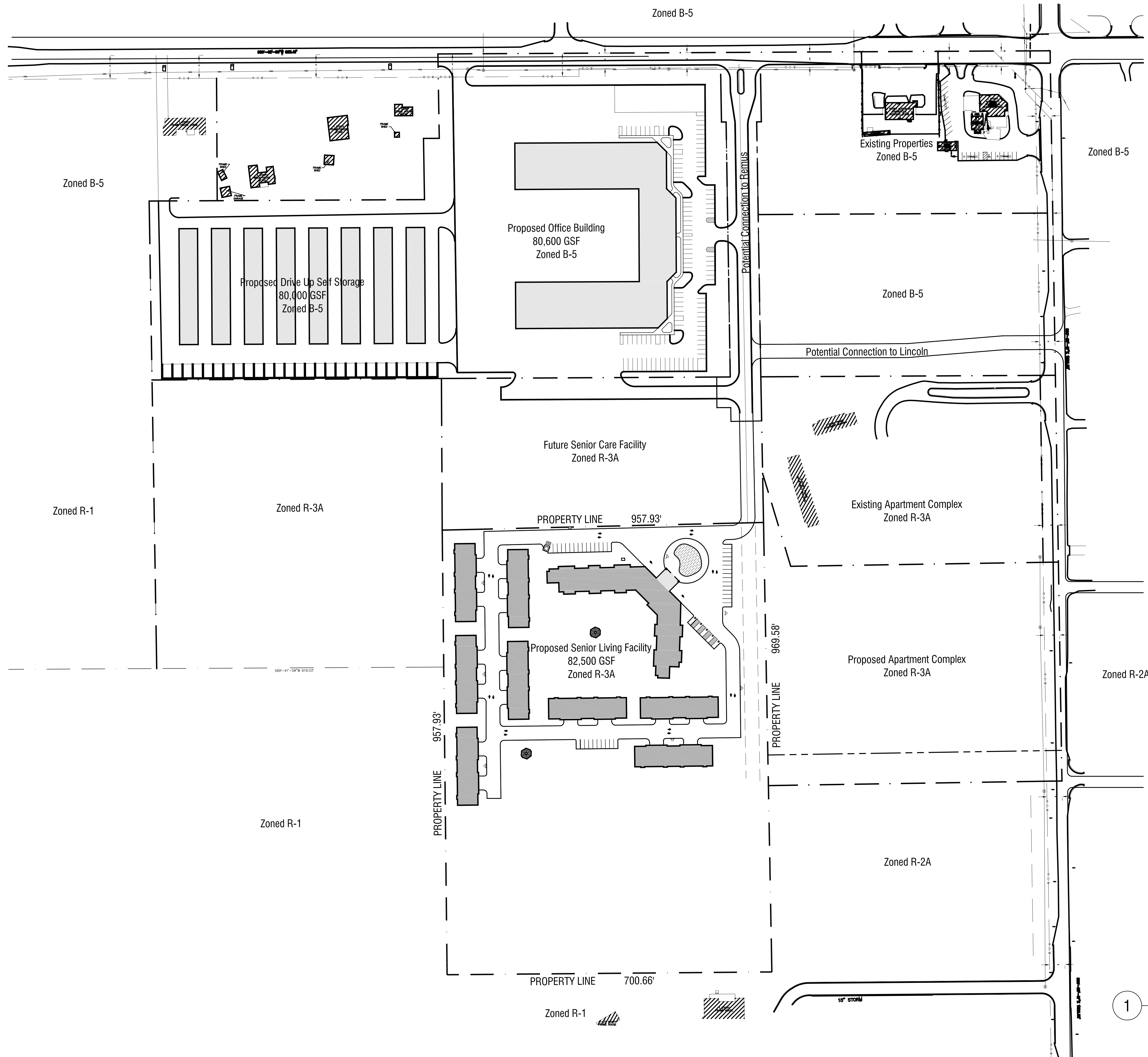


**ALTA/NSPS SURVEY DETAIL SHEET**  
**MT. PLEASANT INVESTMENT PROPERTIES, LLC**  
PART OF THE NORTHEAST 1/4  
SECTION 20, T14N-R4W  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:  
REVISIONS TO ADD AND THEN REVISE WETLANDS

SUBMITTALS:  
SUBMITTAL TO CLIENT 5-12-17  
SUBMITTAL TO CLIENT, REVIEW/COMMENT 5-23-17

SCALE	JOB NUMBER:	1704-055
1" = 20'	DRAWN BY:	WRE
SHEET NUMBER	DESIGNED BY:	NA
6 OF 6	CHECKED BY:	TELB



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	Special Use & Site Plan Approval	5.26.17
No.	Revision/Issue	Date

**Union Township**  
**Senior Living Facility**  
 14-020-20-001-03  
 Mt. Pleasant, MI

**Composite Site Plan**

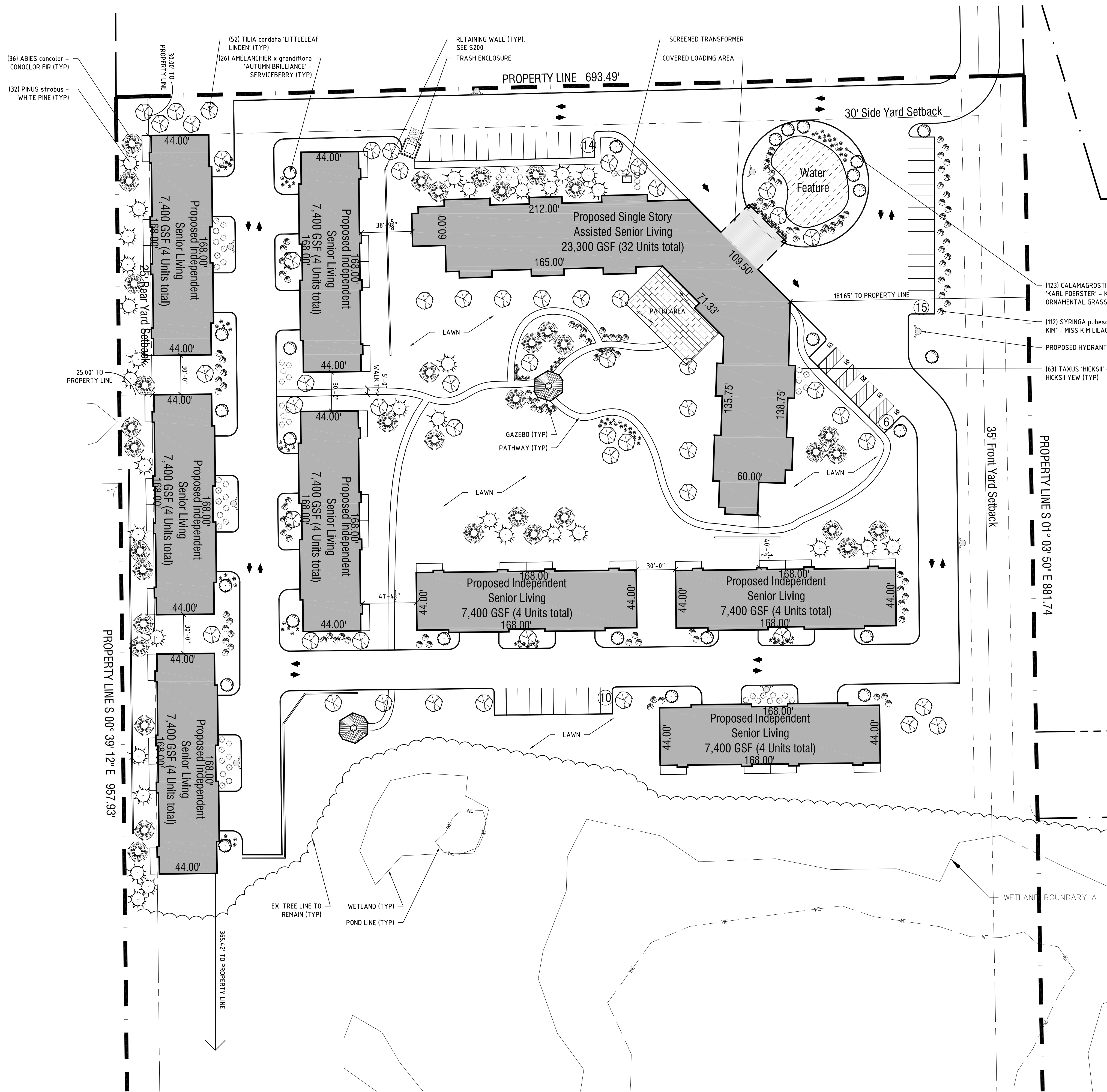
**S101** 017033

**1** Composite Site Plan  
 SCALE: 1" = 100'

S101 Composite Site Plan.dwg

5/26/2017

Francesca



**SITE DATA**

Regulation	Information
Parcel I.D.	# 14-020-20-001-03
Address/Location	Remus and Lincoln Roads, Mt. Pleasant MI
Zoning	R-3A Apartment and Condominium District
Parcel Area	(672,152 Sq.Ft.) 15.43 Acres

**ZONING SCHEDULE OF REGULATIONS**

Regulation	Required	Provided
Setbacks	Front: 35' Sides: 30' Rear: -25'	Front: 181.65' Sides: 365.42' & 30.00' Rear: 25.00'
Building Height	Maximum: 35'	20' (midrise)
Open Space	Minimum: 25 units or more 2,900 SF per unit	493,023 SF 7,703 SF per unit
Distance bet. Buildings	30' (plus additional 5' for each story above one story)	See drawing for dimensions

**PARKING SUMMARY**

Regulation	Required	Provided
Parking	1 Parking Space per 2 Units  64 Units Total/2 = 32	44 Surface Parking Spaces 32 Garage Parking Spaces
	TOTAL REQUIRED: 32	TOTAL PARKING SPACES PROVIDED: 76 (including 5 Handicap Accessible)

**BUILDING INFORMATION**

Assisted Senior Living Facility	23,300 GSF Approx. 32 Units total
Independent Cottages	(8) 7,400 GSF Buildings Four Units per Building 32 Units total

**PLANT SCHEDULE**

#	BOTANICAL NAME	COMMON NAME	SIZE/ROOT
36	ABIES concolor	CONCOLOR FIR	7-8' B&B
26	AMELANCHIER x grandiflora	AUTUMN BRILLIANCE SERVICEBERRY	2.5" CAL.
123	CALAMAGROSTIS x acutiflora	KARL FOERSTER GRASS	3 GAL
32	PINUS strobus	WHITE PINE	7-8' B&B
63	TAXUS x media 'HICKSII'	HICKSII YEW	30-32" B&B
52	TILIA cordata	LITTLELEAF LINDEN	2.5" CAL.
112	SYRINGA pubescens	MISS KIM LILAC	5 GAL.

TOTAL TREES: 146  
TOTAL SHRUBS, GRASSES & PERENNIALS: 444

**DESIGNHAUS** EST 1998  
**ARCHITECTURE**

301 WALNUT BOULEVARD  
ROCHESTER, MI 48307  
T: 248.601.4422 F: 248.453.5854  
WWW.DESIGNHAUS.COM  
INFO@DESIGNHAUS.COM



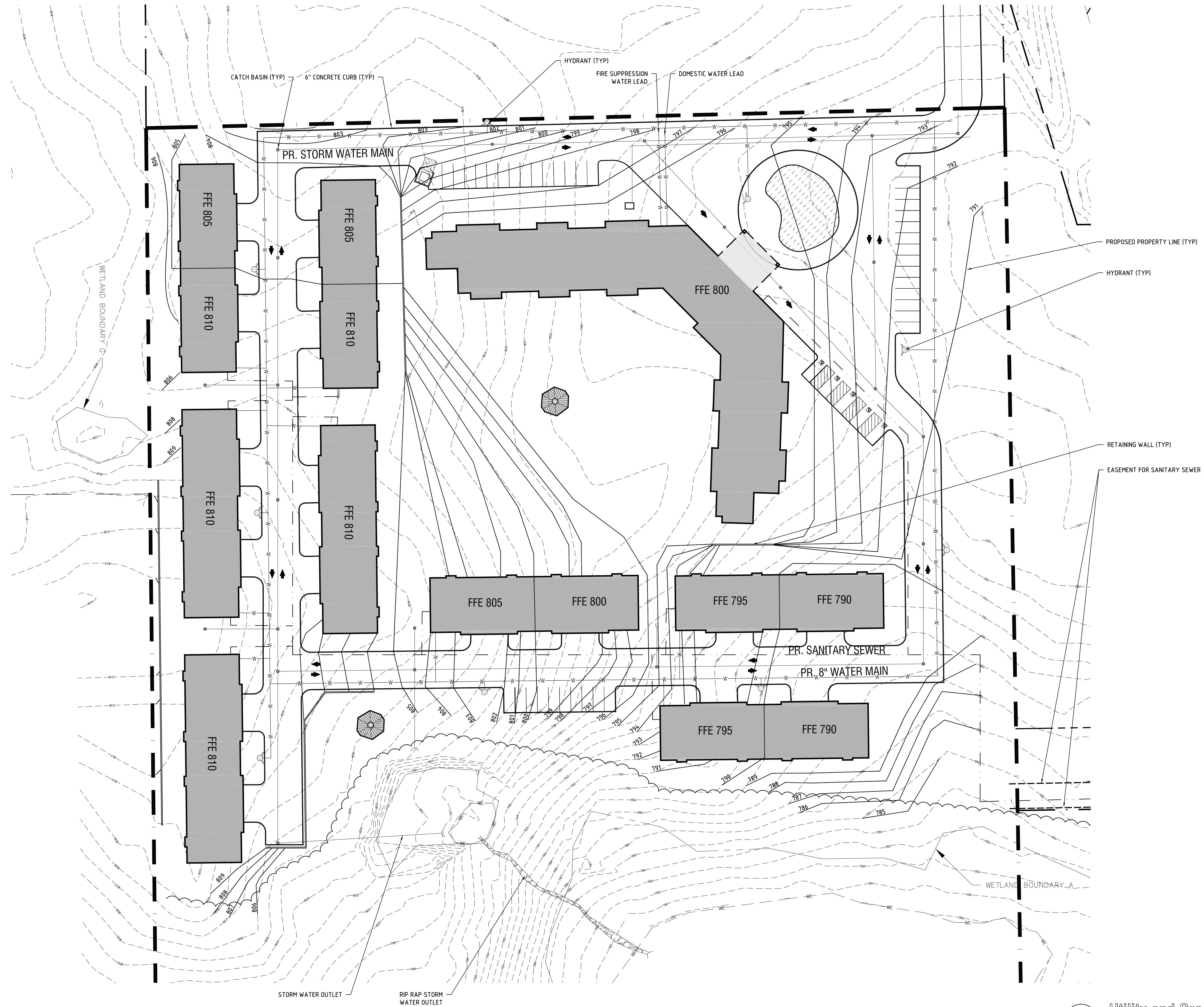
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	Special Use & Site Plan Approval	5.26.17
No.	Revision /Issue	Date

**Union Township**  
**Senior Living Facility**  
14-020-20-001-03  
Mt. Pleasant, MI

Site Plan

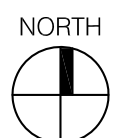
**S100** 017033

1 Site & Landscape Plan  
SCALE: 1" = 40'



1 Utility and Grading Plan

SCALE: 1" = 40'



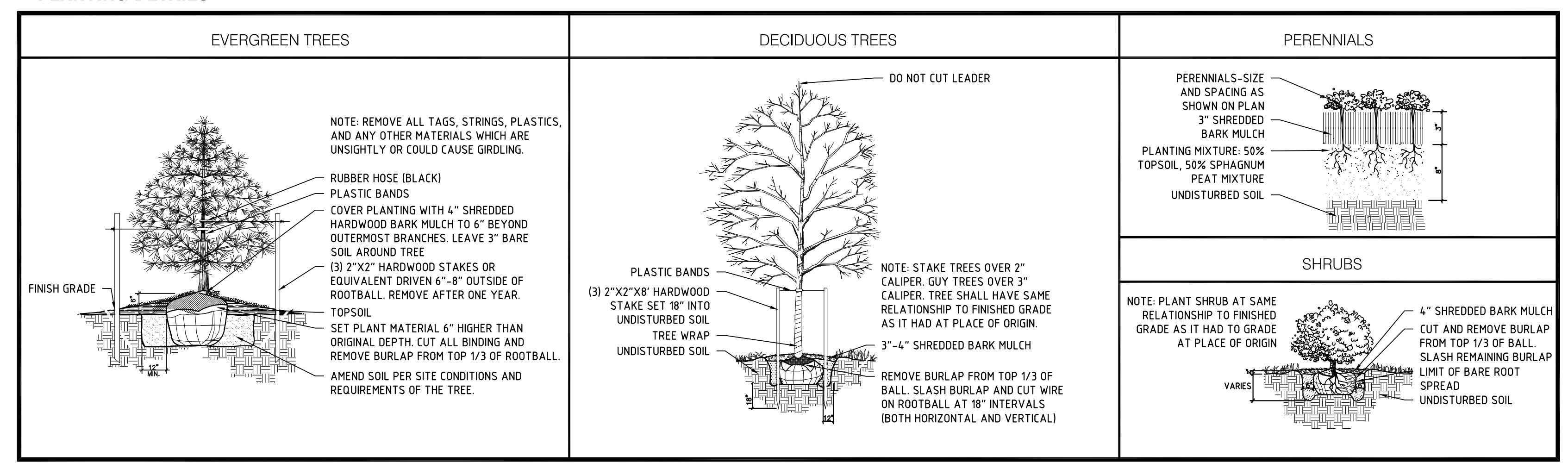
No.	Revision/Issue	Date
	Special Use & Site Plan Approval	5.26.17

**Union Township**  
**Senior Living Facility**  
14-020-20-001-03  
Mt. Pleasant, MI

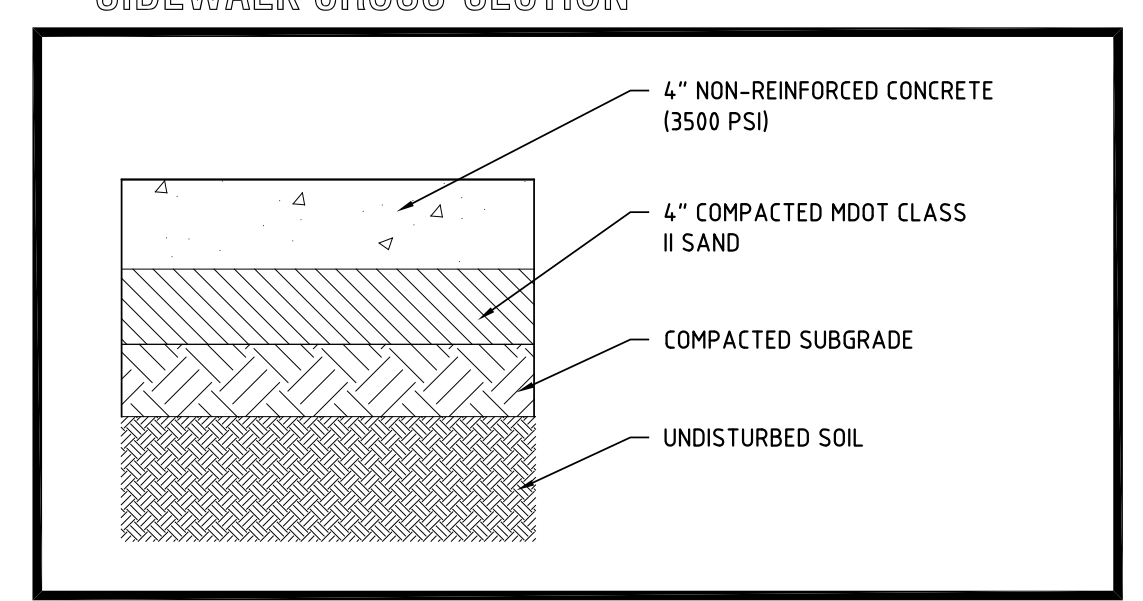
Utility and Grading Plan

**S200** 017033

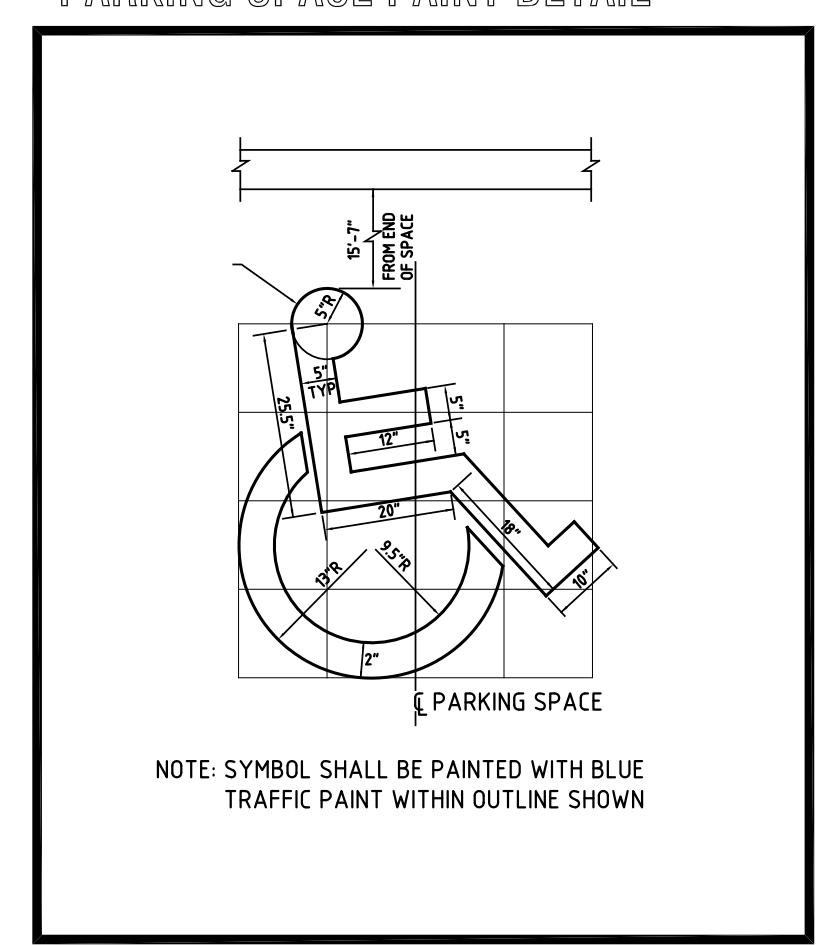
**PLANTING DETAILS**



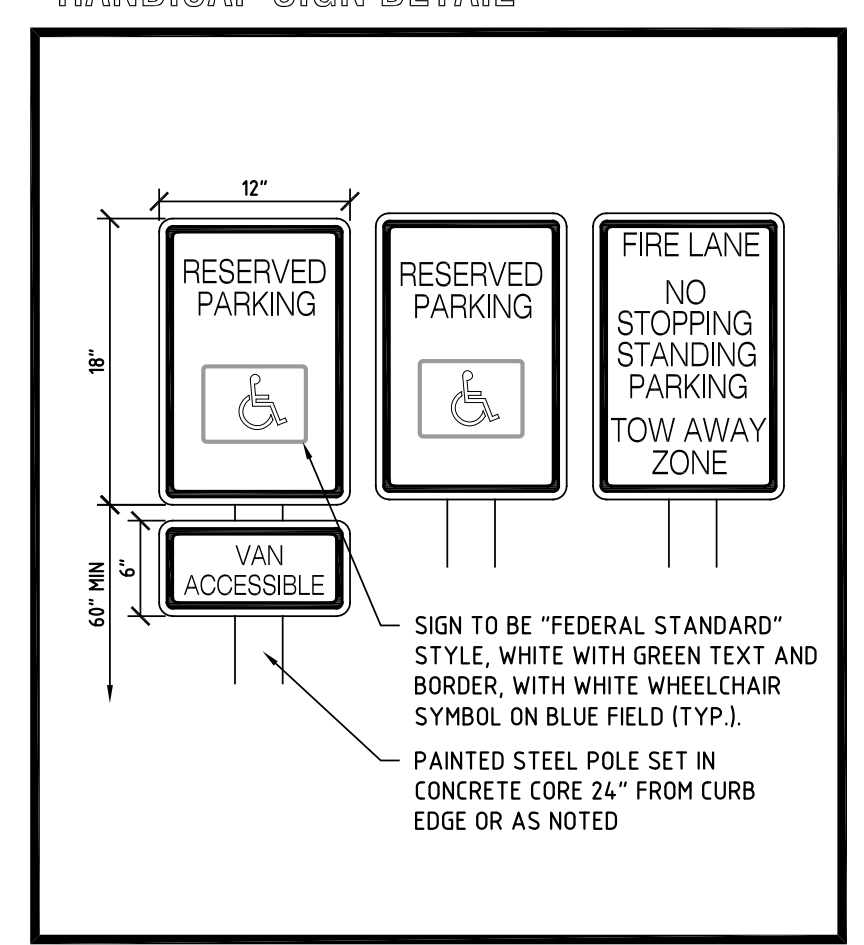
**SIDEWALK CROSS-SECTION**



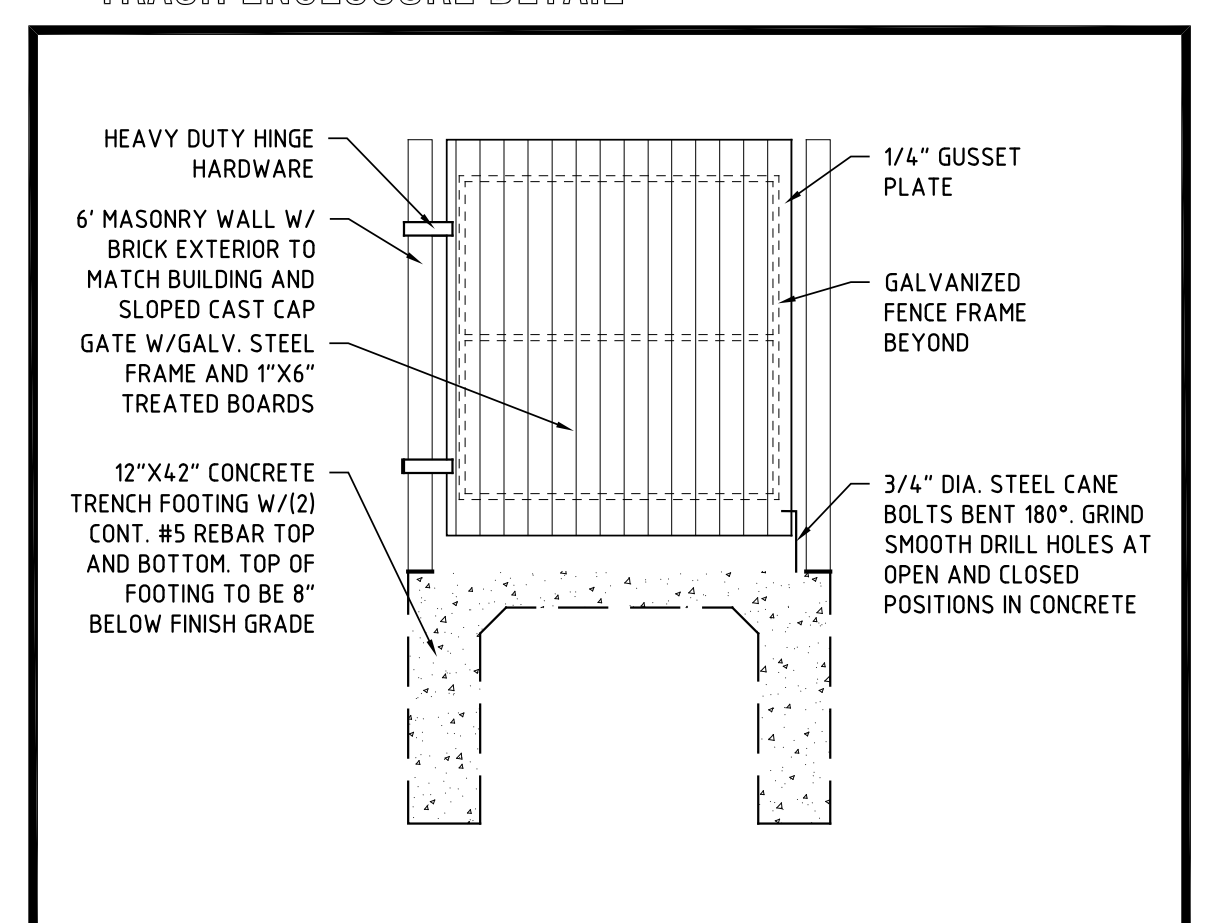
**PARKING SPACE PAINT DETAIL**



**HANDICAP SIGN DETAIL**



**TRASH ENCLOSURE DETAIL**



**GENERAL NOTES FOR LANDSCAPE DEVELOPMENT**

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS. TREES WITH SAND BALLS WILL BE REJECTED.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- CONCERNING GROUND COVER, ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH. SEE SPECIFICATIONS. ALL OTHER DISTURBED AREAS SHALL BE SODDED.
- LANDSCAPING SHALL BE MAINTAINED IN A GOOD CONDITION TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF THE NEXT APPROPRIATE PLANTING PERIOD.
- OWNER TO ESTABLISH MAINTENANCE PROGRAM TO ENSURE GROUNDS AND LANDSCAPING TO REMAIN HEALTHY AND WELL GROOMED.
- RECOMMENDED PLANTING DATES ARE MARCH 1ST TO MAY 15TH FOR ALL MATERIALS, AND OCTOBER 15TH TO DECEMBER 15TH FOR DECIDUOUS MATERIALS. PLANTINGS OUTSIDE THESE DATES SHALL HAVE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- UNDERGROUND IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY CONTRACTOR.
- TURF GRASS TO BE COMMON TO ISABELLA COUNTY, MI.

No.	Revision / Issue	Date
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	Special Use & Site Plan Approval	5.26.17

**Union Township**  
**Senior Living Facility**  
14-020-20-001-03  
Mt. Pleasant, MI

**Site and Landscape Details**

**S300** 01703